

## Chapter 135. Planning and Design

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## 135-2.1 General

### 2.1.1 INTENT

The intent and purpose of Building Types is to define a set of allowable building forms permitted in each district that preserves the existing character or implements the desired character of each node, corridor, neighborhood, or district in the city.

### 2.1.2 APPLICABILITY

All new construction and renovation of existing structures must comply with the requirements of one of the building types allowed in the district, unless otherwise expressly stated in this ordinance. Refer to section 135-10.3 of this chapter for existing buildings that are not fully compliant with a building type.

### 2.1.3 GENERAL REQUIREMENTS

All buildings shall conform to a building type, unless otherwise excepted or exempted in section 135-2.1.4 of this article. The following general requirements apply to all building types.

- A. Districts.** Building types may be constructed only within districts where the building type is permitted per Table 135-2.2-1 and Table 135-2.2-2 of this article.
- B. Uses.** Uses are allowed to occupy each building type depending on the district in which it is located. Refer to Table 134-3.1-1 of chapter 134 of this code to determine the uses allowed in each district. Some building types have additional limitations on permitted uses.
- C. Permanent Structures.** All buildings constructed must be of permanent construction without a chassis, hitch, or wheels, or other features that would make the structure mobile, unless otherwise expressly stated in this ordinance.
- D. Build to the Corner.** All buildings are required to occupy the corner of a lot, defined by the intersection of the two build-to zones or setback lines.
- E. Building Design Requirements.** All buildings shall comply with the building design requirements established in article 4 of this chapter.
- F. Accessory Structure Requirements.** Except as noted in the building type regulations, accessory structures shall comply with the building design requirements established in section 135-2.22 of this article.

### 2.1.4 EXEMPTIONS AND DESIGN ALTERNATIVES

- A. Historic District Designations.** The regulations in this article are intended to reinforce any local, state, or national historic district or building regulations. Existing structures or portions of structures located within a historic district or designated as historic are subject to the regulations of this article unless determined to be exempt by the community development director.
- B. F District.** All development in an F district is subject to the requirements of chapter 50 of this code.
- C. Outdoor Sports and Recreation Uses.** Outdoor sports and recreation uses are exempted from the building types standards, except the following:
  1. An accessory kiosk per section 135-2.22.2.B of this article or the allowed building type may be used.
  2. Side and rear setbacks for any applicable building type shall be utilized.
- D. Lots Used for Vehicle Sales, Vehicle Rental and Trucking and Transportation Terminals.** Lots used for vehicle sales, vehicle rental and trucking and transportation terminals must utilize any permitted building type in the district where the use is permitted. For such uses that do not meet a building type in any location or the site design principles of sections 135-8.2.3 of this chapter and 135-8.2.1 of this chapter, a Type 2 design alternative may be requested.
- E. Pre-existing Lots.** In any district where houses are permitted, a one or two-household building type may be located on any lot platted or of record as of the effective date of this chapter, regardless of the lot area or width, subject to section 135-10.2 of this chapter.
- F. Utility Structures.** The following structures are exempted from meeting the requirements of a building type.
  1. Cell tower structures, which are regulated by chapter 134, article 4 of this code.
  2. Utility stations
  3. Kiosks for parking lots shall utilize the accessory kiosk building per section 135-2.22.2.B of this article.
- G. Permitted Uses.** Any variation from the types of permitted uses required by the building type regulations in this article, or from separation distances required by chapter 134 of this code, may be approved only by board of adjustment approval.



# 135-2. BUILDING TYPES

General

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**TABLE 135-2.2-1. BUILDING TYPES BY DISTRICTS**

BUILDING TYPES	DX, MX, RX, CX, EX, I DISTRICTS												Reference
	DX1	DX2	DXR	MX1	MX2	MX3	RX1	RX2	CX	EX	I1	I2	
Downtown Storefront	●	●	●										<a href="#">135-2.3</a>
Downtown General	●	●	●										<a href="#">135-2.4</a>
Storefront				●	●	●			●				<a href="#">135-2.5</a>
Commercial Cottage				●		●	●			●			<a href="#">135-2.6</a>
General Building							●	●		●	●	●	<a href="#">135-2.7</a>
Commercial Center						●			●				<a href="#">135-2.8</a>
Workshop/Warehouse										●	●	●	<a href="#">135-2.9</a>
Civic Building	●	●	●	●	●	●	●	●	●	●	●	●	<a href="#">135-2.10</a>
Principal-Use Parking Structure	●	●	●	●	●	●	●	●	●	●	●	●	<a href="#">135-2.17</a>
Flat Building			●				●	●					<a href="#">135-2.11</a>
Row Building			●				●	●					<a href="#">135-2.12</a>
House A													<a href="#">135-2.13</a>
House B													<a href="#">135-2.14</a>
House C													<a href="#">135-2.15</a>
House D													<a href="#">135-2.16</a>

**KEY:** ●=permitted by right | ●=required on primary frontages | ●=permitted only on corner lots, maximum 150 feet in length



## 135-2. BUILDING TYPES

General

TABLE 135-2.2-2. BUILDING TYPES BY DISTRICTS

BUILDING TYPES	N, NX, NM, A, P DISTRICTS															Reference
	N1a	N1b	N2a, N2b	N3a	N3b	N3c	N4	N5	NX1	NX2, NX2a	NX3	NM	A	P1	P2	
Downtown Storefront																<a href="#">135-2.3</a>
Downtown General																<a href="#">135-2.4</a>
Storefront																<a href="#">135-2.5</a>
Commercial Cottage																<a href="#">135-2.6</a>
General Building											●				●	<a href="#">135-2.7</a>
Commercial Center																<a href="#">135-11.8</a>
Workshop/Warehouse															●	<a href="#">135-11.9</a>
Civic Building									●	●	●			●	●	<a href="#">135-11.10</a>
Principal-Use Parking Structure															●	<a href="#">135-11.17</a>
Flat Building										●	●					<a href="#">135-11.11</a>
Row Building									●	●	●					<a href="#">135-11.12</a>
House A	●	●	●										●			<a href="#">135-11.13</a>
House B				●	●											<a href="#">135-11.14</a>
House C					●	●	●		●							<a href="#">135-11.15</a>
House D								●	●	●						<a href="#">135-11.16</a>

KEY: ●=permitted by right | ○=required on primary frontages | ⊙=permitted only on corner lots, maximum 150 feet in length

## 135-2. BUILDING TYPES

DRAFT

### General

of a conditional use or use variance or amendment thereto, pursuant to chapter 134 of this code. Variation from the depth, location within a building that does not affect or impact a separation distance required by chapter 134 of this code, percentages of square footage, or percentages of facade requirements related to permitted uses may be approved by Type 1 or Type 2 design alternatives, as applicable per variation, pursuant to this chapter.

**H. Design Alternatives.** Section 135-9.2 of this chapter defines design alternatives applicable to the building type regulations. Additional design alternatives may be noted throughout this article.

### 2.1.5 TREATMENT OF YARDS

Paved vehicular areas are limited to specific locations in accordance with the applicable building type regulations. The following further defines the permitted treatments of the yard areas around the buildings.

**A. Landscape, Patio, Sidewalks.** All yards must consist of landscape areas, patio space, or sidewalk space, unless otherwise expressly stated. Yard area may not exceed the maximum levels of imperviousness and semi-perviousness set for each building type.

**B. Driveways.** Refer to section 135-6.12 of this chapter for driveway design and location requirements. Driveways may cross through yards as follows:

1. **Front and Corner Yards.** Where permitted as access to the lot, driveways may cross perpendicularly through the front or street side yards. Circular drop-off drives may be permitted per the building type requirements.
2. **Perpendicular Crossing of Side and Rear Yards.** In all districts except N districts, driveways may cross perpendicularly through the side and rear yards to connect to parking on adjacent lots.
3. **Parallel Crossing of Side and Rear Yards.** In N and NX districts, driveways accessing rear yard garages are permitted within the side or rear yard setback, up to the property line. If the driveway is shared, the minimum side yard must be provided outside the driveway.

**C. Side Yard Parking Lots.** Some building types permit side yard parking lots. Side yard parking lots may not encroach on the front yard and may not encroach upon the minimum side setback.

**D. Rear Yards.** Paved vehicular areas (parking lots, loading areas, drives) are typically required to be located in the rear yard; however, minimum rear

yard setbacks also apply to parking lots.

### 2.1.6 PRIMARY FRONTAGES

A primary frontage establishes the fronts of lots and buildings and where to locate the principal entrance to the building. A primary frontage designation requires the highest level of facade treatment and restricts locations for parking, driveways, and garage entrances. Primary frontages must be provided as follows:

#### A. Primary Street Frontages.

1. **Mapped Street Frontages.** Primary frontage requirements shall be met along those locations where a primary street is designated on the primary street map. The primary street map is maintained as a geographic coverage layer with the city's geographic information system (GIS), under the direction of the community development director.
2. **Residential Street Frontages.** In N and NX districts, primary frontage is defined by streets with a majority of front doors fronting the street.
3. **Lots with a Single Street Frontage.** For lots with only one street frontage, primary frontage requirements shall be met along the street frontage even if that street is not designated as a primary street.
4. **Lots with Narrow Street Frontage.** For lots with street frontage less than 30 feet in width and access required off that same frontage, the community development director shall determine the primary frontage requirements.

**B. Open Space.** Where a lot or parcel contains or abuts open space designated as a P1 district, the frontage of a building abutting the open space shall meet primary frontage requirements.

**C. River Frontage.** Any facade facing a river shall be treated as a primary frontage.

**D. Other Public Ways.** Pedestrian ways and paseos to parking lots through parcels, blocks, or buildings shall be treated as primary street frontage, unless a Type 1 design alternative per section 135-9.2 of this chapter is approved for a reduction in transparency and facade materials.

**E. Multiple Primary Frontages.** If multiple primary frontages and no other non-primary frontages exist for a lot, up to two primary frontages may be treated as a non-primary frontage for the building type requirements if the following is met:

1. Approval of the community development director;



2. The configuration of other parcels along the street, including fronts of buildings and locations of vehicular access, are more consistent with non-primary requirements;
3. No plans for primary street designation in the future exist for the proposed non-primary frontage; and
4. At least one frontage meets the primary frontage requirements.

**F. Non-Primary Frontages.** Non-primary street frontages may utilize the requirements of primary street frontages.

**G. Corners.** At corners of buildings on streets and public ways, primary frontage treatments, including such items as, but not limited to, ground story transparency, facade materials, and building facade requirements, shall be continued around the corner along the non-primary street or public way for a minimum of 30 feet.

#### 2.1.7 TRASH, RECYCLING, REFUSE LOCATIONS

Unless otherwise defined by the building type, all trash, recycling, and other refuse areas shall be located and treated as follows:

- A.** Unless located inside a building, trash, recycling, and other refuse areas for one- or two-household uses shall be located outside of the front yard or screened to the satisfaction of the community development director.
- B.** Unless located inside the building as described below, for all uses other than one- or two-household uses:
  1. Trash, recycling, and other refuse areas must be located in the rear yard of the lot outside of any minimum required setback.
  2. When no rear yard exists or when the rear yard is less than 10 feet in depth, trash, recycling, and other refuse areas may be located in the rear portion of an interior side yard.
  3. Trash, recycling, and other refuse areas may be located inside the building with access doors off the rear or interior side facade. Access doors may be located off a non-primary frontage facade with a Type 1 design alternative per section 135-9.2 of this chapter. Access doors shall be opaque, screening a minimum of 80% of the opening.
  4. Refer to section 135-7.10 of this chapter for required screening of trash, recycling, and other refuse areas.

### 135-2.2 Reading the Regulations

This section explains how to read and interpret the building type regulations.

#### 2.2.1 PERMITTED BUILDING TYPES TABLES

Table 135-2.2-1 and Table 135-2.2-2 of this article define which building types are permitted within the different districts.

#### 2.2.2 GENERAL BUILDING TYPES REGULATIONS

Refer to section 135-2.1 of this article for general building requirements applicable to all building types.

#### 2.2.3 BUILDING TYPE PAGES

In sections 135-2.3 of this article through section 135-2.17 of this article, four pages are provided for each of the building types:

- A. Description of Building Type.** The first page of each specific building type section provides a general description of the building type and several images showing typical examples of the building type. The images are illustrative only and may not fully depict all requirements of this chapter.
- B. Table and Diagrams.** The next two pages of each specific building type section provides the key table and diagrams of information, meant to be viewed as a whole. See Figure 135-2.2-C of this article, "How to Read the Building Type Regulations", for an explanation of the building type tables and diagrams.
- C. Additional Regulations/Notes.** The final page of each specific building type section contains notes referenced from the table of regulations. Specific design situations are explained on these pages and additional graphic diagrams may also be provided.

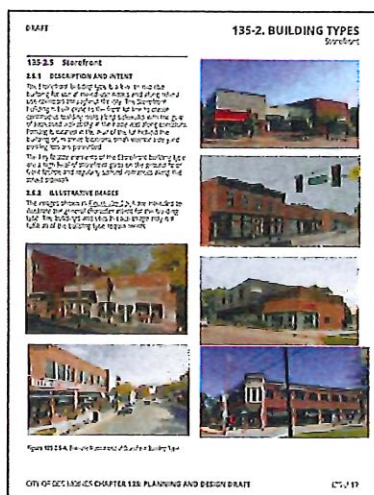
#### 2.2.4 MEASUREMENT OF REGULATIONS

Refer to article 3 of this chapter for rules of measurement for determining compliance with the regulations in the building type tables.

#### 2.2.5 GENERAL DESIGN REQUIREMENTS

Refer to article 4 of this chapter for design requirements applicable to all building types. These provisions address such features as building materials, windows, roof types, and balcony design.





### IMAGES ILLUSTRATING THE SPECIFIC BUILDING TYPE

Regulations are organized in four categories:

- A. **Building Siting** defining where the building and parking is located on the site.
- B. **Height** defines the number of stories and height of each story.
- C. **Uses** defines how permitted uses may be distributed within the building.
- D. **Public Way Facade Requirements** establishes design requirements for street and other public way facades related mainly to windows, doors, and roofs.

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Figure 135-25 B. Size about Building Side

156-2-10

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## SPECIFIC BUILDING TYPE TABLES & DIAGRAMS

NOTES FOR FURTHER EXPLANATION OR UNIQUE CIRCUMSTANCES FOR THE BUILDING TYPE

[illegible]

Figure 135-2.5 C. Shelfload Height & Used Requirements

Figure 135-2.5 D, Streetfront Facade Restoration

- Districts in which the building type is permitted are labeled across the top of the table. Regulations may be different for each district.

- Tables define the regulations for each building type. Refer to article 12 of this chapter for definitions and article 3 of this chapter methods of measuring regulations.

Graphics related to the tables above. Graphics typically represent one example of building type requirements

135-2. BUILDING TYPES	BUILT
<p><b>1. Addition</b> <i>See</i> <b>Building Types</b></p>	
<p>1. <b>Architectural</b> <i>See</i> <b>Building Types</b></p>	

Figure 135-2.2-C. How to Read the Building Type Regulations



### 135-2.3 Downtown Storefront

#### 2.3.1 DESCRIPTION AND INTENT

The Downtown Storefront building type is a mid-rise or high-rise building within the downtown (DX) districts. The Downtown Storefront is built close to the front lot-line to create continuous building wall along sidewalks throughout the downtown.

Like the Storefront building type, the key facade elements are the high level of storefront glass on the ground floor front facade and the regularly spaced building entrances. Parking is typically structured or provided off-site for the Downtown Storefront building.

#### 2.3.2 ILLUSTRATIVE IMAGES

The images shown in Figure 135-2.3-A are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.

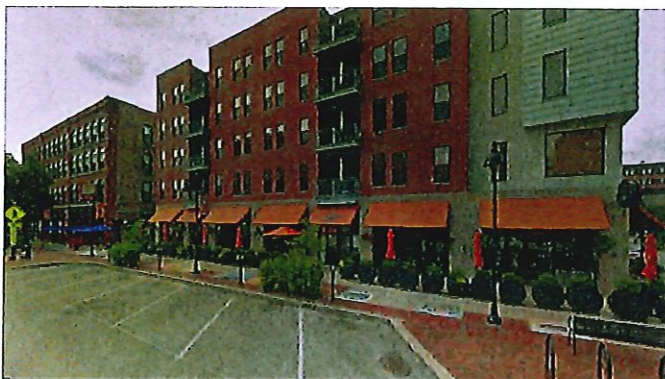
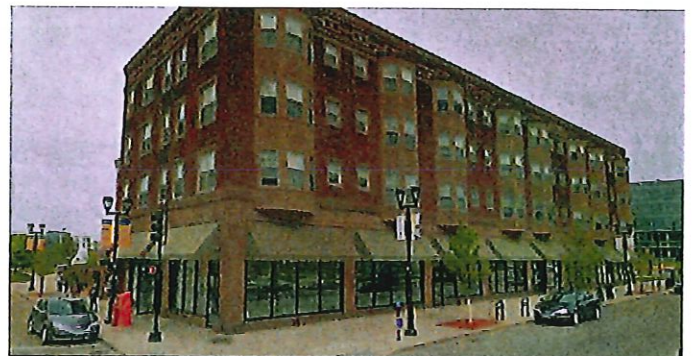


Figure 135-2.3-A. Example Illustrations of Downtown Storefront Building Type



# 135-2. BUILDING TYPES

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## Downtown Storefront

### 2.3.3 DOWNTOWN STOREFRONT REGULATIONS

	DX1	DX2	DXR	REFERENCES
<b>A. Building Siting</b> Refer to Figure 135-2.3-B				
1 Multiple Principal Buildings	Permitted	Permitted	Not permitted	
2 Minimum Primary Frontage Coverage	95%	95%	80%	Courtyards permitted per <a href="#">Note 2</a> . See <a href="#">135-3.2</a> for measurement information. See <a href="#">Note 4</a> for river frontage requirements.
3 Primary Frontage Build-to Zone (ft)	0-5	0-5	0-10	Minimum pedestrian area is required per <a href="#">Note 3</a> .
4 Non-Primary Frontage Build-to Zone (ft)	0-15	0-15	0-15	See <a href="#">135-3.3</a> for measurement information. See <a href="#">Note 4</a> for river frontage requirements.
5 Minimum Interior Side Setback (ft)	0	0	0	
6 Minimum Rear Setback (ft)	0	0	0	
7 Maximum Impervious Area Additional Semi-Pervious Area	90% 10%	90% 10%	90% 10%	See <a href="#">135-3.6</a> for measurement information.
8 Garage/Loading Entrance Location	Any non-primary street or rear facade			See <a href="#">135-4.3.8</a> for additional garage door requirements.
9 Permitted Driveway Access	Improved alley; if no improved alley exists or is planned, one driveway off each non-primary street allowed.			See <a href="#">135-6.12</a> for additional driveway regulations.
<b>B. Height</b> Refer to Figure 135-2.3-C				
10 Minimum Overall Height	5 stories	3 stories	3 stories	See <a href="#">135-3.7</a> for measurement information. See <a href="#">135-2.18</a> for height limitations in Capitol Dominance Area.
11 Maximum Overall Base Height	15 stories	8 stories	8 stories	
12 Additional High-Rise Height	Unlimited height	Not permitted	Not permitted	See <a href="#">135-4.4</a> for high-rise design requirements.
13 Primary Frontage Ground Story: Minimum Height (ft) Maximum Height (ft)	15 24	15 24	15 18	Story heights are measured floor to floor. Floor heights greater than 20 ft count as 2 stories in overall height. See <a href="#">135-3.7</a> for measurement information.
14 All Other Stories: Minimum Height (ft) Maximum Height (ft)	9 14	9 12	9 12	

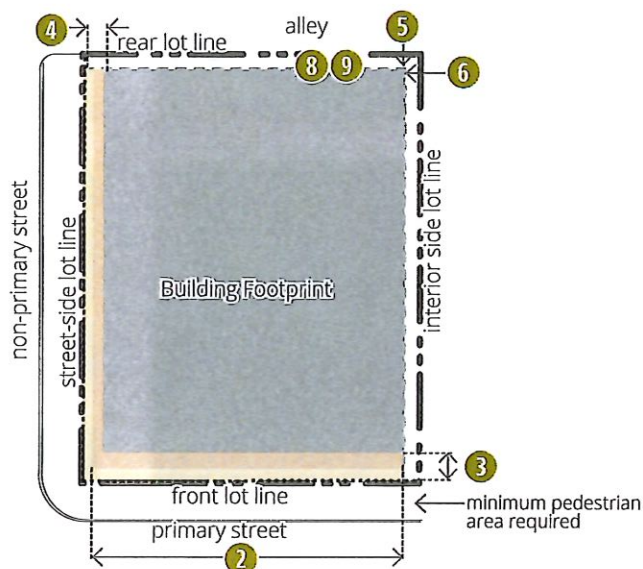


Figure 135-2.3-B. Downtown Storefront: Building Siting



	DX1	DX2	DXR	REFERENCES
<b>C. Uses</b> Refer to Figure 135-2.3-C				
15 Primary Frontage Facade Ground Story First 30 ft of depth along frontage	Permitted Public, Civic, and Institutional uses; Commercial uses; Artisan Industrial; and lobbies to upper story uses			See chapter 134, article 3 for permitted uses per zoning district and definition of uses.
16 Non-Primary Frontage, All Upper Stories, & Basement	Any permitted use			
17 Required Occupied Space	Minimum 30-ft depth on all full height floors of primary frontages			See 135-12.1 for definition of occupied space.
18 Parking/Loading within Principal Building	Permitted fully in any basement and rear of all other stories behind occupied space as required above.			Refer to 135-2.17 for design on street frontages.
<b>D. Street, Public Way, &amp; Courtyard Facades and Roof Requirements</b> Refer to Figure 135-2.3-D				
19 Minimum Primary Frontage Ground Story Transparency Ground story requirements supersede requirements per story, below.	70%, measured between 2 ft and 10 ft; blank wall limitations apply			See 135-3.8 for measurement information and the definition of transparency and blank wall limitations. See 135-2.1.6.F for requirements at corners.
20 Minimum Transparency per Each Story & any Half Story	18%; blank wall limitations apply			See 135-3.8 for measurement information and the definition of transparency and blank wall limitations.
21 Entrance Location & Number	Principal entrance required on primary frontage facade; minimum of one door spaced every 60 ft of primary frontage facade; lobby entrance for upper story uses shall be located on a public way or courtyard facade; no expanse on a primary frontage facade shall be greater than 60ft without a principal entrance			See 135-4.3.6 for principal entryway design requirements.
22 Primary Frontage Entryway(s) Configuration Requirement	Recessed between 3ft and 8 ft from the portion of the primary frontage facade closest to the street; maximum 8ft wide if outside the build-to zone			See 135-4.3.6 for principal entryway design requirements.
23 Primary Frontage Entrance & Ground Story Elevation	At least 80% of entrances and the ground story shall be within 1.5 ft vertically of adjacent sidewalk elevation			
24 Primary Frontage Ground Story Vertical Facade Divisions Required	At least one shadow line per every 30 ft of facade width			See 135-12.1 for definition of shadow line. See 135-4.3.9 for building articulation requirements.
25 Horizontal Facade Divisions Required	At least one shadow line within 3 ft of the top of the ground story; for buildings over 5 stories: minimum of one shadow line at the bottom of any story between the 3rd and 6th story			See 135-12.1 for definition of shadow line.
26 Permitted Roof Types	Parapet, flat; Tower permitted; Special roof option for high-rise	Parapet, flat; Tower permitted	Parapet, flat, pitched; Tower permitted	See 135-2.20 for roof types; See Note 5 for height and tower limitations in Capitol Dominance Area.

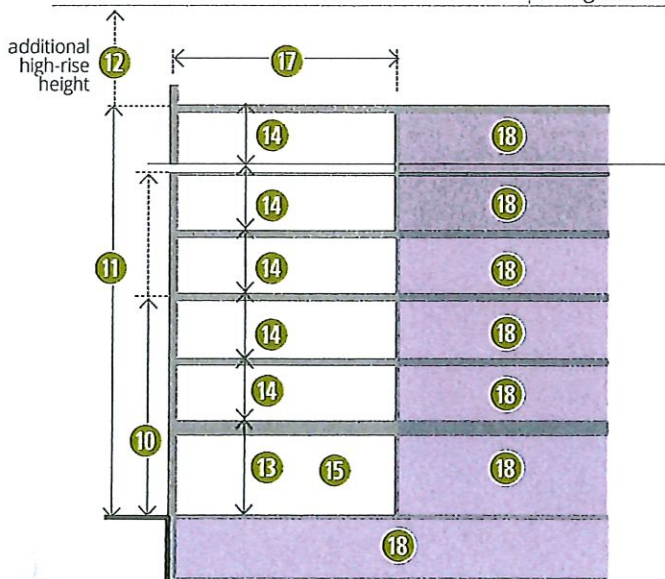


Figure 135-2.3-C. Downtown Storefront: Height &amp; Uses Requirements

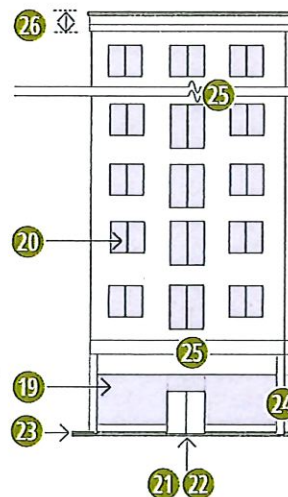


Figure 135-2.3-D. Downtown Storefront: Facade Requirements

# 135-2. BUILDING TYPES

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## Downtown Storefront

### E. Additional Regulations/Notes

1. Primary Frontage. The Downtown Storefront is required along all frontages of designated primary streets on the primary streets map pursuant to section 135-2.1.6 of this article.
2. Courtyards. One courtyard, maximum of 30% of facade width or 50 feet wide, whichever is less, may count towards the minimum primary frontage coverage.
3. Minimum Pedestrian Area. Along all streets where the area from the back of curb to the lot line is less than 13 feet, the build-to zone shall begin at 13 feet from the back of curb and extend into the site the depth defined.
4. River Frontage. The following applies to all lots abutting a river or riverfront park:
  - a. Setback from River. A minimum setback of 100 ft is required from the high water mark of the river.
  - b. Public Right-of-Way. A public right-of-way is required between the development and any riverfront park. Refer to the city's most recent transportation master plan and specifications from the city engineer. This right-of-way shall be treated as a primary frontage.
5. Building Corners. At street intersections, ground story transparency requirements on primary frontage shall extend around the corner of the building a minimum of 30 feet, as measured from the corner of the building down the non-primary frontage. See section 135-2.1.6.E of this article for building requirements at street corners.



## 135-2.4 Downtown General

### 2.4.1 DESCRIPTION AND INTENT

The Downtown General building type is a mid-rise to high-rise building within the downtown (DX) districts. The Downtown General building is built close to the sidewalk, but may have plazas or courtyards between the building and the sidewalk. Parking is typically structured or provided off-site for the Downtown General building.

The Downtown General building is more flexible than the Downtown Storefront. The level of glass on the ground story is the same as the upper stories. Additionally, the ground story may not match the sidewalk elevation, raised above grade and with or without a visible basement beneath.

### 2.4.2 ILLUSTRATIVE IMAGES

The images shown in [Figure 135-2.4-A](#) are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.

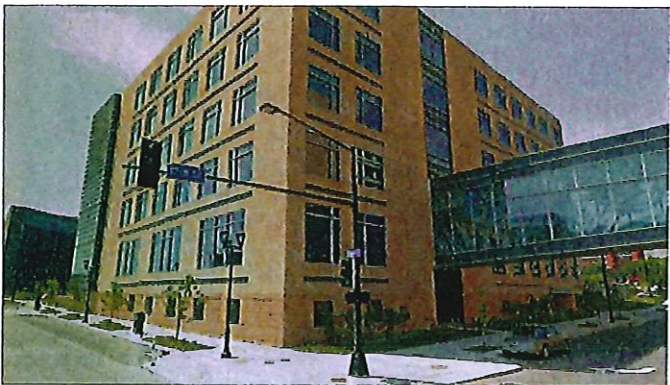
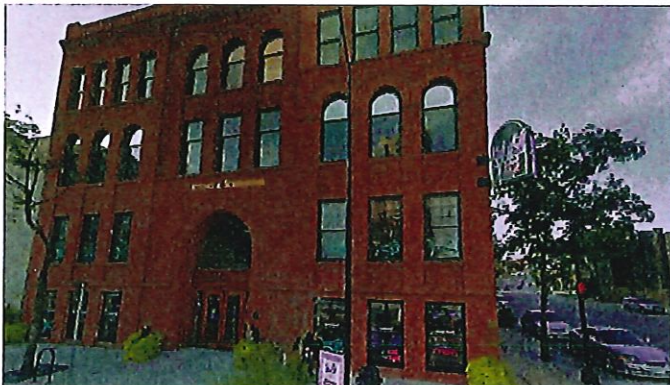
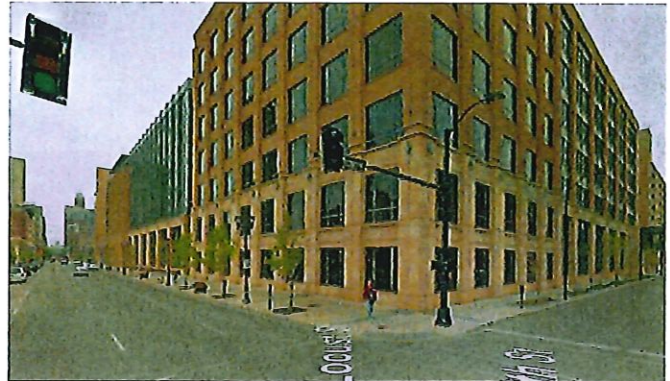


Figure 135-2.4-A. Example Illustrations of Existing Downtown General Building Type



# 135-2. BUILDING TYPES

Downtown General

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## 2.4.3 DOWNTOWN GENERAL REGULATIONS

	DX1	DX2	DXR	REFERENCES
<b>A. Building Siting</b> Refer to Figure 135-2.4-B				
1 Multiple Principal Buildings	Permitted	Permitted	Permitted	
2 Minimum Primary Frontage Coverage	95%	90%	80%	Courtyards permitted per Note 1. See 135-3.2 for measurement information. See Note 3 for river frontage requirements.
3 Primary Frontage Build-to Zone (ft)	0-10	0-15	0-15	Minimum pedestrian area is required per Note 2.
4 Non-Primary Frontage Build-to Zone (ft)	0-15	0-15	0-20	See 135-3.3 for measurement information. See Note 3 for river frontage requirements.
5 Minimum Interior Side Setback (ft)	0	0	10	
6 Minimum Rear Setback (ft)	0 except 5 at alley	0 except 5 at alley	0 except 15 at alley	0 allowed at the alley subject to approval of the community development director and city engineer.
7 Maximum Impervious Area Additional Semi-Pervious Area	90% 10%	85% 15%	80% 15%	See 135-3.6 for measurement information.
8 Garage/Loading Entrance Location	Any non-primary street or rear facade			See 135-4.3.8 for additional garage door requirements.
9 Permitted Driveway Access	Improved alley; if no improved alley exists or is planned, one driveway off each non-primary street			See 135-6.12 for additional driveway regulations.
<b>B. Height</b> Refer to Figure 135-2.4-C				
10 Minimum Overall Height	5 stories	3 stories	3 stories	See 135-3.7 for measurement information. See 135-2.18 for height limitations in Capitol Dominance Area
11 Maximum Overall Base Height	15 stories	8 stories	8 stories	
12 Additional High-Rise Height	Unlimited height	Not permitted	Not permitted	See 135-4.4 for high-rise design requirements.
13 Primary Frontage Ground Story: Minimum Height (ft) Maximum Height (ft)	10 24	10 24	10 16	Story heights are measured floor to floor. Floor heights greater than 20 ft count as 2 stories in overall height. See 135-3.7 for measurement information.
14 All Other Stories: Minimum Height (ft) Maximum Height (ft)	9 14	9 12	9 12	

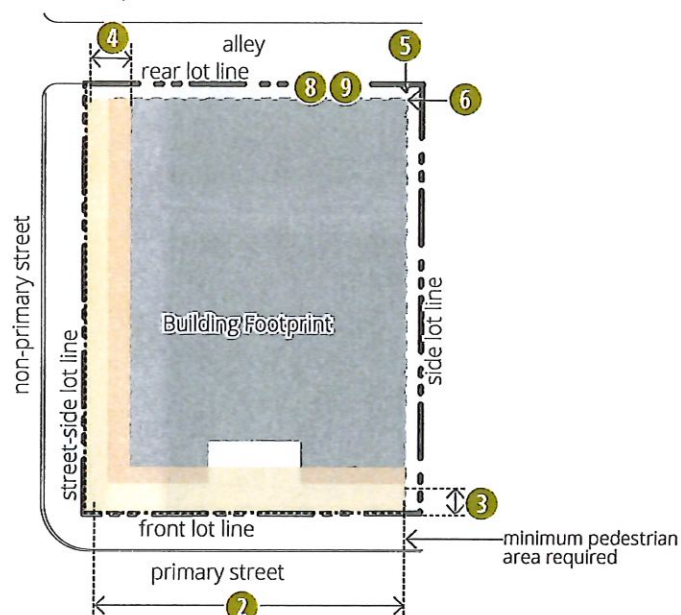


Figure 135-2.4-B. Downtown General: Building Siting



	DX1	DX2	DXR	REFERENCES
<b>C. Uses</b> Refer to Figure 135-2.4-C				
15 All Stories & Basement	Any permitted use except the following are limited to no more than 25% of the ground floor area: Commercial Service; Day Care; Eating and Drinking Places; Retail Sales; Sports and Recreation, Private/Participant; and Vehicle Rental and Fuel Station*			See chapter 134, article 3 for permitted uses per zoning district and definition of uses. *= DX2 and DXR only for fuel station
16 Required Occupied Space	Minimum 30ft depth on all full height floors of primary frontages			See 135-12.1 for definition of occupied space.
17 Parking/Loading within Principal Building	Permitted fully in any basement and rear of all other stories behind occupied space as required above.			Refer to 135-2.17 for design on street frontages.
<b>D. Street, Public Way, &amp; Courtyard Facades and Roof Requirements</b> Refer to Figure 135-2.4-D				
18 Minimum Transparency per Each Story & any Half Story	18%; blank wall limitations apply			See 135-3.8 for measurement information and the definition of transparency and blank wall limitations.
19 Entrance Location and Number	Principal entrance required on primary frontage facade; minimum of one per 100 ft of primary frontage facade; no expanse on a primary frontage facade shall be greater than 100ft without a principal entrance			See 135-4.3.6 for principal entryway design requirements
20 Primary Frontage Entryway(s) Configuration	Recessed between 3ft and 8ft from the portion of the primary frontage facade closest to the street; maximum 8ft wide if outside the build-to zone			See 135-4.3.6 for principal entryway design requirements
21 Primary Frontage Entrance and Ground Story Elevation	At least 80% of entrances and the ground story shall be within 30 inches vertically of adjacent sidewalk elevation OR between 30 inches and 5ft with visible basement (transparency required)			See 135-12.1 for definition of visible basement.
22 Primary Frontage Ground Story Vertical Facade Divisions	At least one shadow line per every 90ft of facade width			See 135-12.1 for definition of shadow line. See 135-4.3.9 for building articulation requirements.
23 Horizontal Facade Divisions	At least one shadow line within 3ft of any story line between 1st and 3rd story; For buildings over 5 stories; minimum of one shadow line within 3ft of any story between the 3rd and 6th story			See 135-12.1 for definition of shadow line.
24 Permitted Roof Types	Parapet, flat; Tower permitted; Special roof option for high-rise	Parapet, flat; Tower permitted	Parapet, flat, pitched; Tower permitted	See 135-2.20 for roof types; See 135-2.18 for height and tower limitations in Capitol Dominance Area.

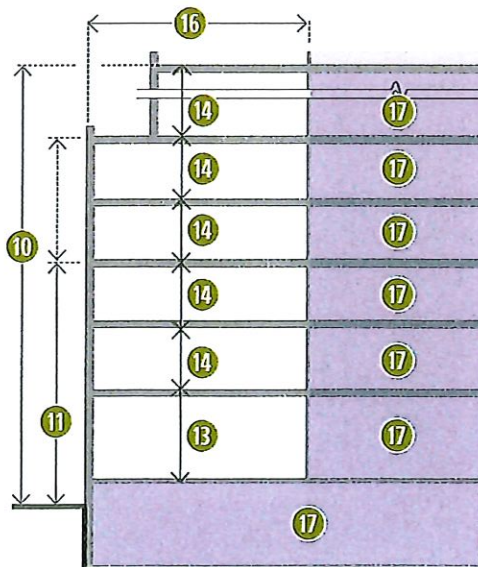


Figure 135-2.4-C. Downtown General: Height &amp; Uses Requirements

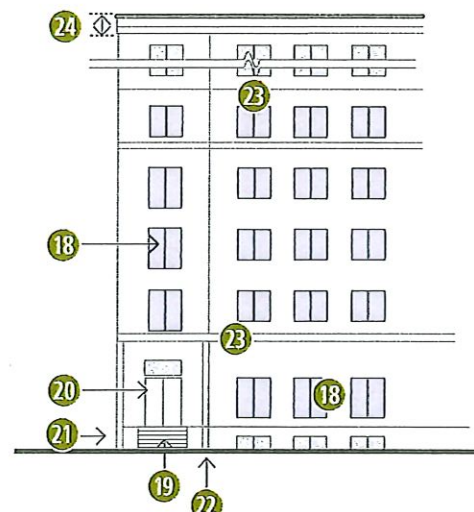


Figure 135-2.4-D. Downtown General: Facade Requirements

# 135-2. BUILDING TYPES

## Downtown General

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### E. Additional Regulations/Notes

1. Courtyards. One courtyard, maximum of 30% of facade width or 50 feet wide, whichever is less, may count towards the minimum primary frontage coverage.
2. Minimum Pedestrian Area. Along all streets where the area from the back of curb to the lot line is less than 13 feet, the build-to zone shall begin at 13 feet from the back of curb and extend into the site the depth defined.
3. River Frontage. The following applies to all lots abutting a river or riverfront park:
  - a. Setback from River. A minimum setback of 100 feet is required from the high water mark of the river.
  - b. Public Right-of-Way. A public right-of-way is required between the development and any riverfront park. Refer to the transportation master plan and specifications from the city engineer. This right-of-way shall be treated as a primary frontage.



## 135-2.5 Storefront

### 2.5.1 DESCRIPTION AND INTENT

The Storefront building type is a low- to mid-rise building for use at mixed-use nodes and along mixed-use corridors throughout the city. The Storefront building is built close to the front lot line to create continuous building walls along sidewalks with the goal of increased walkability at the node and along corridors. Parking is located in the rear of the lot behind the building or, in some locations, small interior side yard parking lots are permitted.

The key facade elements of the Storefront building type are a high level of storefront glass on the ground floor front facade and regularly spaced entrances along the street sidewalk.

### 2.5.2 ILLUSTRATIVE IMAGES

The images shown in Figure 135-2.5-A are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.

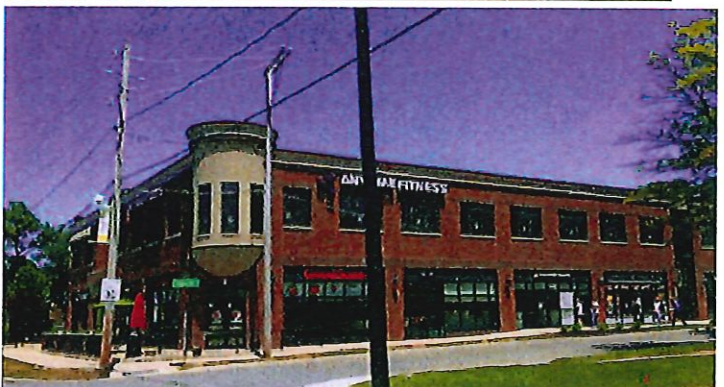
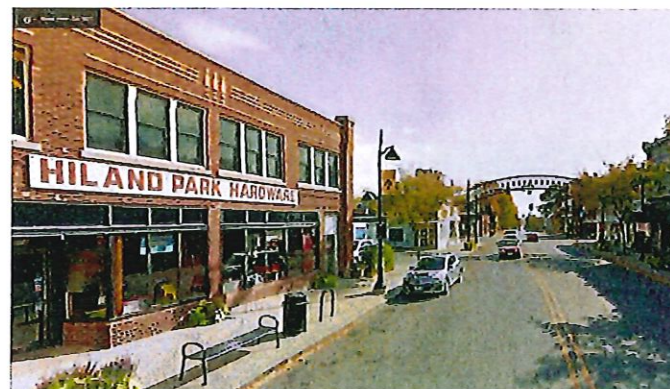
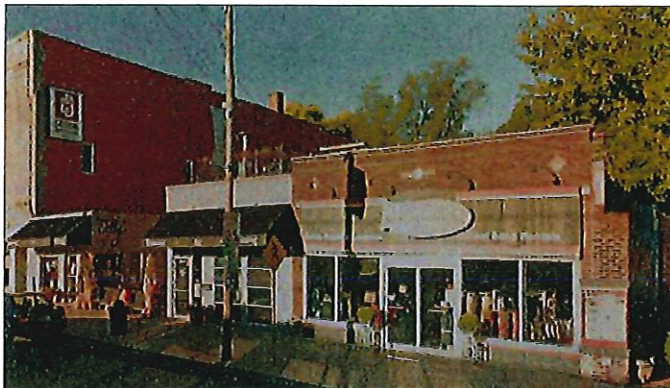
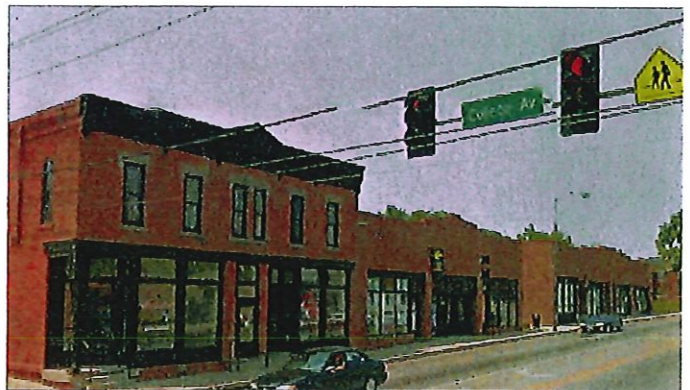


Figure 135-2.5-A. Example Illustrations of Storefront Building Type



# 135-2. BUILDING TYPES

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Storefront

## 2.5.3 STOREFRONT REGULATIONS

	MX1	MX2	MX3	CX	REFERENCES
<b>A. Building Siting</b> Refer to <a href="#">Figure 135-2.3-B</a>					
1 Multiple Principal Buildings	Not permitted	Permitted	Permitted	Permitted	See <a href="#">Note 1</a> for double frontage lots adjacent to N districts.
2 Minimum Primary Frontage Coverage	85%	90%	60%	60%	See <a href="#">135-3.2</a> for measurement information. See <a href="#">Note 1</a> for double frontage lots adjacent to N districts.
3 Primary Frontage Build-to Zone (ft)	0-5	0-5	0-5	0-10	Minimum pedestrian area is required per <a href="#">Note 2</a> .
4 Non-Primary Frontage Build-to Zone (ft)	0-10	0-10	0-10	0-20	See <a href="#">135-3.7</a> for measurement information.
5 Minimum Interior Side Setback (ft)	0, 5 abutting a district that does not permit a Storefront building			5	See <a href="#">135-7.8</a> for landscape buffer.
6 Minimum Rear Setback (ft)	5 except 0 at alley			15 except 0 at alley	See <a href="#">Note 1</a> for double frontage lots adjacent to N districts.
7 Maximum Impervious Area Additional Semi-Pervious Area	85% 10%	85% 15%	80% 10%	65% 15%	See <a href="#">135-3.6</a> for measurement information.
8 Surface Parking/Loading Location Garage/Loading Entrance Location	Rear yard, limited side yard only Any non-primary street or rear facade		Rear yard, limited side yard only Any non-primary street or rear facade		See <a href="#">Note 3</a> for limited side yard parking; See <a href="#">135-4.3.8</a> for additional garage door requirements.
9 Permitted Driveway Access	Improved alley; if no improved alley exists or is planned, one driveway off each non-primary street; if no alley or non-primary street exists, one driveway off a primary street with approval of city engineer				See <a href="#">135-6.12</a> for additional driveway regulations.
<b>B. Height</b> Refer to <a href="#">Figure 135-2.5-C</a>					
10 Minimum Overall Height	1 story	3 stories	1 story	1 story	See <a href="#">135-3.7</a> for measurement information.
11 Maximum Overall Height	3 stories	5 stories	5 stories	3 stories	
12 Primary Frontage Ground Story: Minimum Height (ft) Maximum Height (ft)	12 18	15 20	12 18	12 20	Story heights are measured floor to floor. See <a href="#">Note 5</a> for large format-retail heights. See <a href="#">135-3.7</a> for measurement information.
13 All Other Stories: Minimum Height (ft) Maximum Height (ft)	9 12	9 14	9 12	9 12	

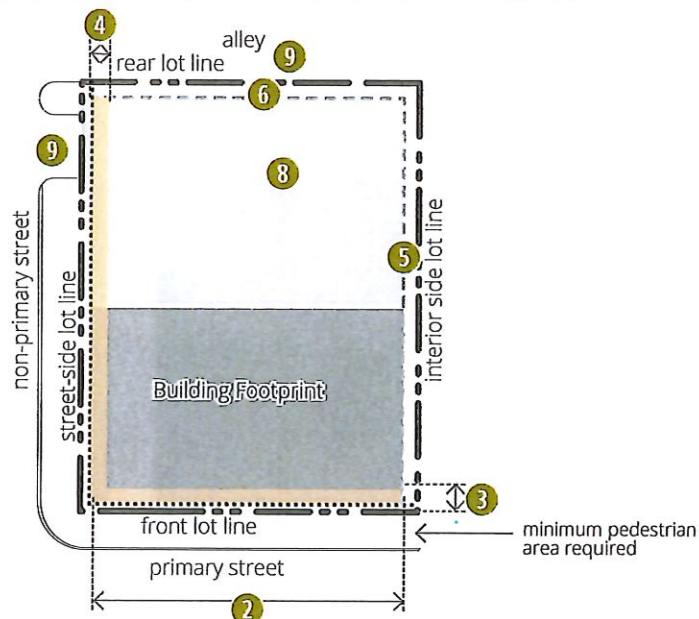


Figure 135-2.5-B. Storefront: Building Siting

	MX1	MX2	MX3	CX	REFERENCES
<b>C. Uses</b> Refer to Figure 135-2.5-C					
<b>14</b> Primary Frontage Facade Ground Story First 30 ft of depth along frontage	Permitted Public, Civic, and Institutional uses; Commercial uses except Business and Trade School; Artisan Industrial; and lobbies to upper story uses		Permitted Public, Civic, and Institutional uses; Commercial uses; Artisan Industrial; Wholesale Sales/Distribution; and lobbies to upper story uses		See <a href="#">chapter 134, article 3</a> for permitted uses per zoning district and definition of uses.
<b>15</b> Non-Primary Frontage, All Upper Stories, & Basement	Any permitted use				See <a href="#">chapter 134, article 3</a> for permitted uses per zoning district and definition of uses.
<b>16</b> Required Occupied Space	Minimum 30ft depth on all full height floors of primary frontages				See <a href="#">135-12.1</a> for definition of occupied space.
<b>17</b> Parking/Loading within Principal Building	Permitted fully in any basement and rear of all other stories behind occupied space as required above.				Refer to <a href="#">135-2.17</a> for design on street frontages.
<b>D. Street &amp; Public Way Facades and Roof Requirements</b> Refer to Figure 135-2.5-D					
<b>18</b> Minimum Primary Frontage Ground Story Transparency Ground story requirements supersede requirements per story, below.	65%, measured between 2 ft and 8 ft; blank wall limitations apply	70%, measured between 2 ft and 10 ft; blank wall limitations apply	65%, measured between 2 ft and 8 ft; blank wall limitations apply	60%, measured between 2 ft and 8 ft; blank wall limitations apply	See <a href="#">135-3.8</a> for measurement information and the definition of transparency and blank wall limitations. See <a href="#">Note 4</a> , for requirements at corners.
<b>19</b> Minimum Transparency per Each Story & any Half Story	15%; blank wall limitations apply				
<b>20</b> Entrance Location & Number	Principal entrance required on primary frontage facade; minimum of one per 45 ft of primary street facade; lobby entrance for upper story uses shall be located on a public way; no expanse on a primary frontage facade shall be greater than 45ft without a principal entrance				See <a href="#">135-4.3.6</a> for principal entryway design requirements.
<b>21</b> Primary Frontage Entryway(s) Configuration	Recessed between 3ft and 8ft from the portion of the primary frontage facade closest to the street; maximum 8ft wide if outside the build-to zone			No requirements	See <a href="#">135-4.3.6</a> for principal entryway design requirements.
<b>22</b> Primary Frontage Entrance & Ground Story Elevation	At least 80% of entrances and the ground story shall be within 1.5ft vertically of adjacent sidewalk elevation				
<b>23</b> Primary Frontage Ground Story Vertical Facade Divisions	At least one shadow line per every 30ft of facade width				See <a href="#">135-12.1</a> for definition of shadow line. See <a href="#">135-4.3.9</a> for building articulation requirements.
<b>24</b> Horizontal Facade Divisions	At least one shadow line within 3ft of the top of the ground story; For buildings over 5 stories: minimum of one shadow line within 3ft of any story between the 3rd and 5th story				See <a href="#">135-12.1</a> for definition of shadow line.
<b>25</b> Permitted Roof Types	Parapet, flat; tower permitted				See <a href="#">135-2.20</a> for roof types.

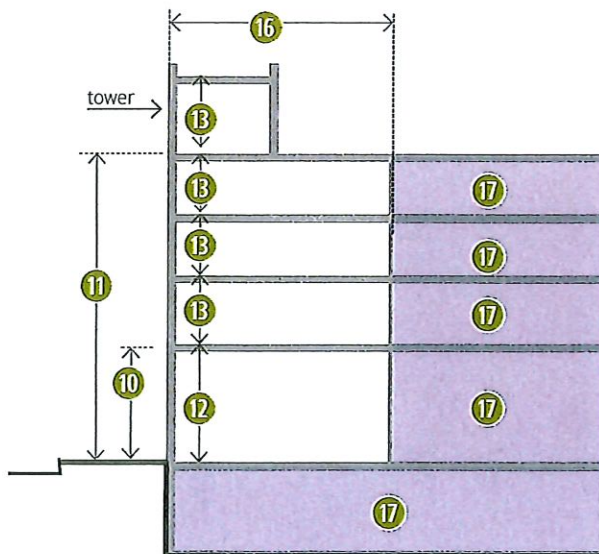


Figure 135-2.5-C. Storefront: Height &amp; Uses Requirements

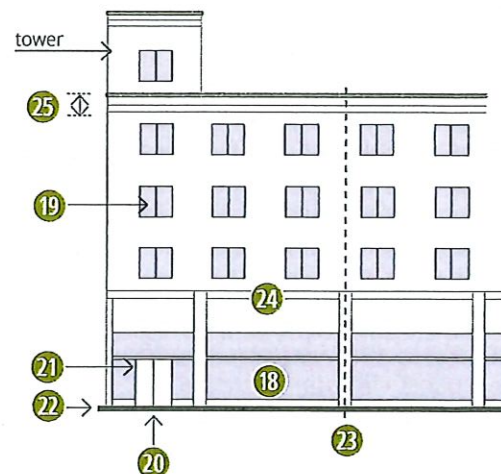


Figure 135-2.5-D. Storefront: Facade Requirements



## E. Additional Regulations/Notes

1. MX to N District Transition. MX district double frontage lots, deeper than 120 feet, that share a primary frontage with an N district shall provide the following:
  - a. One or more of the following building types shall front the adjacent N district primary street:
    - i. House permitted in the adjacent N district.
    - ii. Row or Flat building as permitted in NX2.
  - b. The MX district lot shall incorporate an interior alley, lane, or drive to provide access to both the Storefront building parking and the garage/parking for the House, Row, or Flat building.
  - c. The rear of all buildings shall be fully screened by buildings from both primary streets.
2. Minimum Pedestrian Area. Along all streets where the area from the back of curb to the lot line is less than 13 feet, the build-to zone shall begin at 13 feet from the back of curb and extend into the site the depth defined.
3. Limited Side Yard Parking. Limited side yard parking is one double- or single-loaded aisle, with the centerline of the aisle perpendicular to the street, permitted in the interior side yard. Maximum width of a double-loaded aisle is 60 feet and 40 feet for single-loaded, measured along the right-of-way. Parking may be angled or head-in. Frontage Buffer is required per section 135-7.7 of this chapter.
4. Building Corners. At street intersections, ground story transparency requirements on primary frontage shall extend around the corner of the building a minimum of 30 feet, as measured from the corner of the building down the non-primary frontage. See section 135-2.1.6.F of this article for building requirements at street corners.
5. Warehouse-Retail Space. In CX, taller floor to floor heights may be permitted for warehouse-retail space with approval of a Type 1 design alternative per section 135-9.2 of this chapter and where all other primary frontage ground story requirements are fulfilled:
  - a. The maximum height of the primary frontage for up to a 24-foot wide segment may be 28 feet.
- b. The taller space shall not front any other street.
- c. The taller space shall not be more than 30 feet from any other side, non-primary, or rear lot line.
6. MX District Deck and Patio. Any deck or patio associated with a non-residential use in any MX district shall be located in the rear, side, or street-side yard. A deck or patio in the front yard may be approved through a Type 1 design alternative, either subject to primary frontage coverage or with an Type 1 design alternative to primary frontage coverage.
7. Fuel Station. Where permitted as a use by chapter 134 of this code, a building on the premises of a fuel station shall be located in the build-to zone and shall occupy any corner. For the CX district only, the building shall fulfill all requirements of the building type with the exception of the minimum primary frontage coverage and the minimum height requirement. For all other districts, the building shall fulfill all requirements of the building type.



## 135-2. BUILDING TYPES

### Commercial Cottage

#### 135-2.6 Commercial Cottage

##### 2.6.1 DESCRIPTION AND INTENT

The Commercial Cottage building type is a small-scale building for use at mixed-use nodes and along mixed-use corridors. This building functions well as a transitional building between commercial uses and residential uses, but can also occur within a neighborhood commercial area.

While this building does not necessarily create streetwall, it can contribute to the walkability of an area by being built close to the front lot line and including an entrance and shop windows facing the street.

Parking is located in the rear of the lot behind the building or, in some locations, small interior- side yard parking lots.

##### 2.6.2 ILLUSTRATIVE IMAGES

The images shown in Figure 135-2.6-A are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.

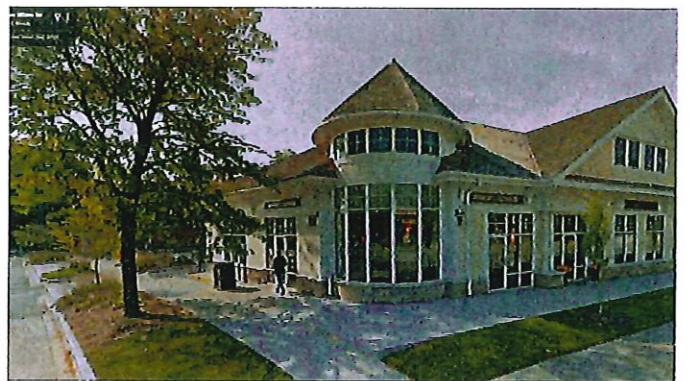
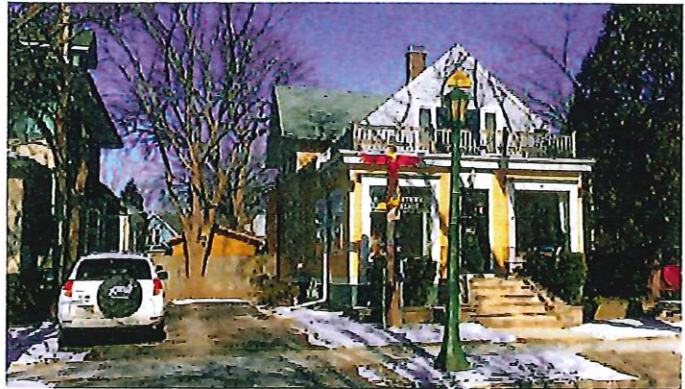
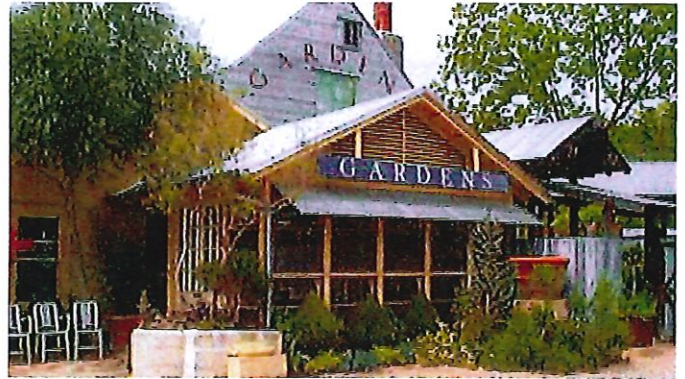


Figure 135-2.6-A. Example Illustrations of Commercial Cottage Building Type



# 135-2. BUILDING TYPES

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## Commercial Cottage

### 2.6.3 COMMERCIAL COTTAGE REGULATIONS

		MX1	MX3	RX1, EX	REFERENCES
A. Building Siting Refer to Figure 135-2.6-B					
1	Multiple Principal Buildings	Permitted	Permitted	Permitted	See <a href="#">Note 1</a> for double frontage lots adjacent to N districts. See <a href="#">Note 3</a> for requirements of multiple buildings.
2	Maximum Building Width	45	60	60	See <a href="#">135-3.5</a> for measurement information.
3	Primary Frontage Build-to Zone (ft)	5-15	5-20	5-20	Minimum pedestrian area is required per <a href="#">Note 2</a> . See <a href="#">135-3.7</a> for measurement information.
4	Non-Primary Frontage Build-to Zone (ft)	5-10	5-10	5-10	
5	Minimum Interior Side Setback (ft)	7.5, 10 abutting another zone			See <a href="#">135-7.8</a> for landscape buffer.
6	Minimum Rear Setback (ft)	25, 15 at alley	25, 15 at alley	25, 15 at alley	See <a href="#">Note 1</a> for double frontage lots adjacent to N districts.
7	Maximum Impervious Area Additional Semi-Pervious Area	65% 10%	65% 10%	65% 10%	See <a href="#">135-3.6</a> for measurement information.
8	Surface Parking/Loading Location Garage/Loading Entrance Location	Rear yard, limited side yard only not permitted			see <a href="#">Note 4</a> for limited side yard parking; See <a href="#">135-4.3.8</a> for additional garage door requirements.
9	Permitted Driveway Access	Improved alley; if no improved alley exists or is planned, one driveway off each non-primary street; if no alley or non-primary street exists, one driveway off a primary street with approval of city engineer			See <a href="#">135-6.12</a> for additional driveway regulations.
B. Height Refer to Figure 135-2.6-C					
10	Minimum Overall Height	1.5 stories	1 story	1 story	See <a href="#">135-3.7</a> for measurement information.
11	Maximum Overall Height	3 stories	3 stories	3 stories	
12	All Stories: Minimum Height (ft) Maximum Height (ft)	8.5 12	8.5 12	8.5 12	Story heights are measured floor to floor. See <a href="#">135-3.7</a> for measurement information.

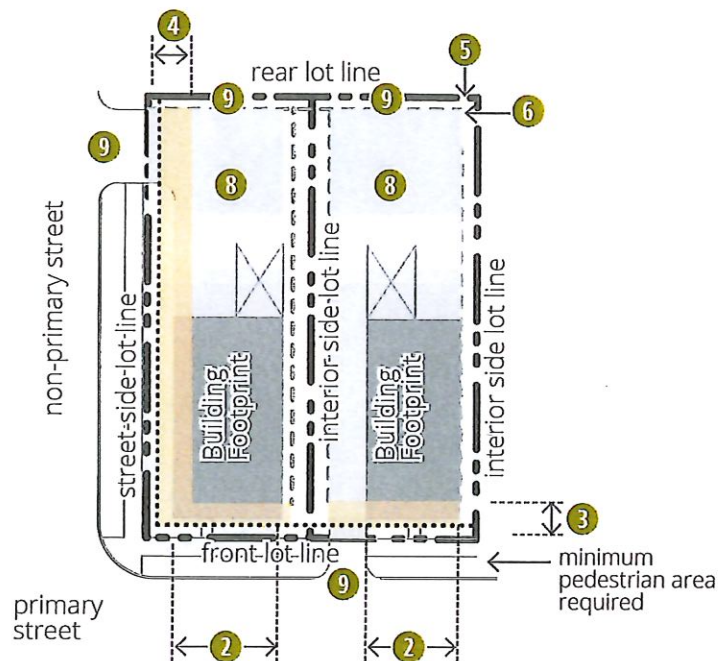


Figure 135-2.6-B. Commercial Cottage: Building Siting

	MX1	MX3	RX1, EX	REFERENCES
<b>C. Uses</b> Refer to Figure 135-2.6-C				
13 Primary Frontage Facade Ground Story <small>First 30 ft of depth along frontage</small>	Any permitted use category except residential			See <a href="#">chapter 134, article 3</a> for permitted uses per zoning district and definition of uses.
14 Non-Primary Frontage, All Upper Stories, & Basement	Any permitted use			
15 Required Occupied Space	Minimum 20-ft depth on all full height floors of primary frontages			See <a href="#">135-12.1</a> for definition of occupied space.
16 Parking/Loading within Principal Building	Permitted fully in any basement and rear of ground story behind occupied space as required above.			Refer to <a href="#">135-2.17</a> for design on street frontages.
<b>D. Street &amp; Public Way Facades and Roof Requirements</b> Refer to Figure 135-2.6-D				
17 Minimum Primary Frontage Ground Story Transparency <small>Ground story requirements supersede requirements per story, below.</small>	55%, measured between 2 ft and 8 ft; blank wall limitations apply	45%, measured between 2 ft and 8 ft; blank wall limitations apply	15%; blank wall limitations apply	See <a href="#">135-3.8</a> for measurement information and the definition of transparency and blank wall limitations.
18 Minimum Transparency per Each Story & any Half Story	15%; blank wall limitations apply			
19 Entrance Location & Number	Principal entrance required on primary frontage facade			See <a href="#">135-4.3.6</a> for principal entryway design requirements.
20 Primary Frontage Entryway(s) Configuration	Entrance must transition from the sidewalk via a stoop, minimum 4 ft deep by 4 ft wide, or a porch, minimum 6 ft deep by 6 ft wide			See <a href="#">135-4.3.6</a> for principal entryway design requirements. See <a href="#">135-12.1</a> for definition of stoop and porch.
21 Primary Frontage Entrance & Ground Story Elevation	Ground story shall be within 30 inches vertically of adjacent sidewalk elevation OR between 30 inches and 5 ft with visible basement (transparency required)			See <a href="#">135-12.1</a> for definition of visible basement.
22 Primary Frontage Ground Story Vertical Facade Divisions	None required			See <a href="#">135-12.1</a> for definition of shadow line.
23 Horizontal Facade Divisions	None required			See <a href="#">135-12.1</a> for definition of shadow line.
24 Permitted Roof Types	Pitched only			See <a href="#">135-2.20</a> for roof types.

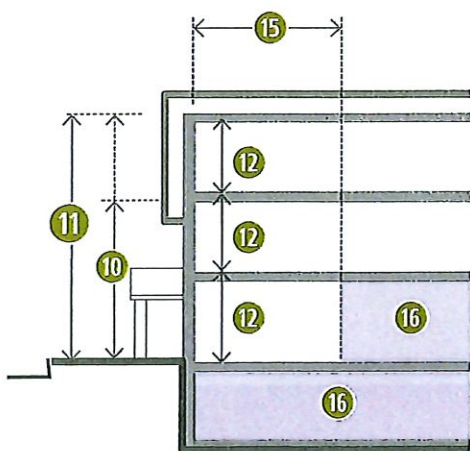


Figure 135-2.6-C. Commercial Cottage: Height &amp; Uses Requirements

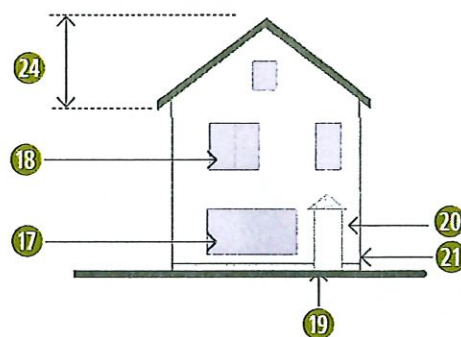


Figure 135-2.6-D. Commercial Cottage: Facade Requirements



# 135-2. BUILDING TYPES

## Commercial Cottage

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### E. Additional Regulations/Notes

1. MX to N District Transition. MX district double frontage lots, deeper than 120 feet, that share a primary frontage with an N district shall provide the following:
  - a. One or more of the following building types shall front the adjacent N district primary street:
    - i. House permitted in the adjacent N district.
    - ii. Row or Flat building as permitted in NX2.
  - b. The MX district lot shall incorporate an interior alley, lane, or drive to provide access to both the Storefront building parking and the garage/parking for the House, Row, or Flat building.
  - c. The rear of the all buildings shall be fully screened by buildings from both primary streets.
2. Minimum Pedestrian Area. Along all streets where the area from the back of curb to the lot line is less than 13 feet, the build-to zone shall begin at 13 feet from the back of curb and extend into the site the depth defined.
3. Commercial Cottage Court. See Figure 135-2.6-E for one layout of the following requirements. When multiple principal buildings are located on a development site, the following applies:

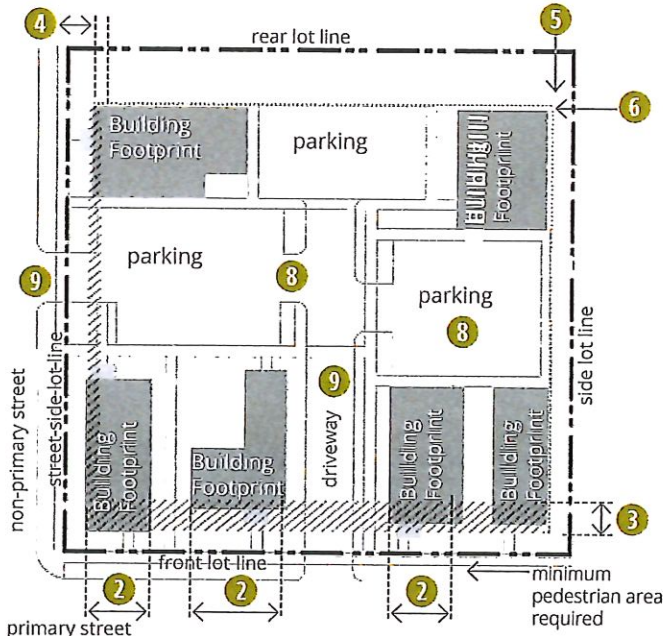


Figure 135-2.6-E. Commercial Cottage Court Plan

- a. For every Commercial Cottage fronting the street and located in the build-to zone, one building may be located on the interior of the lot, not fulfilling the build-to zone requirements.
  - b. The primary frontage on the lot shall have a minimum 60% building coverage, utilizing multiple Commercial Cottages and not exceeding the maximum building width.
  - c. Parking along any street frontage is limited to one limited side yard parking lot per building located along the frontage, not located next to each other.
  - d. Any Commercial Cottages located fully on the interior of the lot shall meet the street facade requirements for facades facing the parking and facades visible from the street.
  - e. The interior side yard setback shall apply to spaces between buildings.
4. Limited Side Yard Parking. Limited side yard parking means one double- or single-loaded aisle, with the centerline of the aisle perpendicular to the street, is permitted in the interior side yard. Maximum width of double-loaded is 60 feet and 40 feet for single-loaded, measured along the right-of-way. Parking may be angled or head-in. Frontage Buffer required per section 135-7.7 of this chapter.
  5. MX District Deck and Patio. Any deck or patio associated with a non-residential use in any MX district shall be located in the rear, side, or street-side yard. A deck or patio in the front yard may be approved through a Type 1 design alternative, either subject to primary frontage coverage or with an Type 1 design alternative to primary frontage coverage.
  6. Fuel Station. Where permitted as a use by chapter 134 of this code, a building on the premises of a fuel station shall be located in the build-to zone and shall occupy any corner. For the EX district only, the building shall fulfill all requirements of the building type with the exception of the minimum primary frontage coverage and the minimum height requirement. For all other districts, the building shall fulfill all requirements of the building type.



## 135-2. BUILDING TYPES

### General Building

#### 135-2.7 General Building

##### 2.7.1 DESCRIPTION AND INTENT

The General building type is a low- to mid-rise building meant for primarily apartments and offices. It is required to be built close to the front lot line with an entrance facing the primary street and parking is located in the rear of the lot behind the building.

More flexible than the Storefront, the level of glass on the ground story of the General building is the same as the upper stories. Additionally, the ground story is not required to match the sidewalk elevation and may be raised above grade with or without a visible basement.

##### 2.7.2 ILLUSTRATIVE IMAGES

The images shown in Figure 135-2.7-A are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.

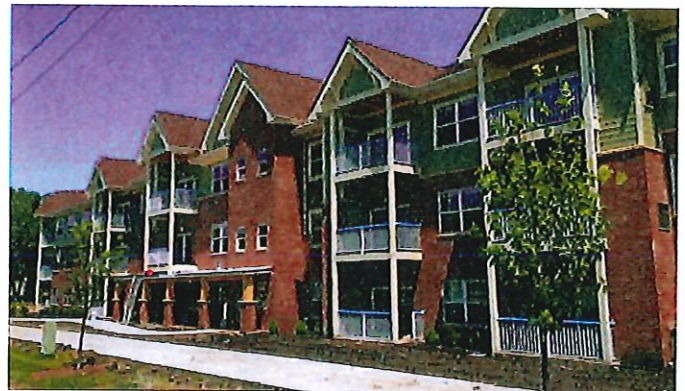
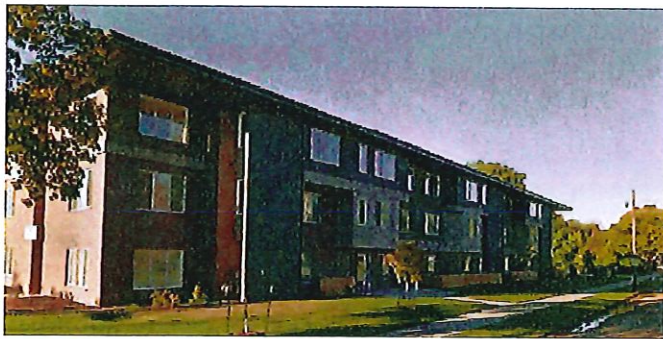
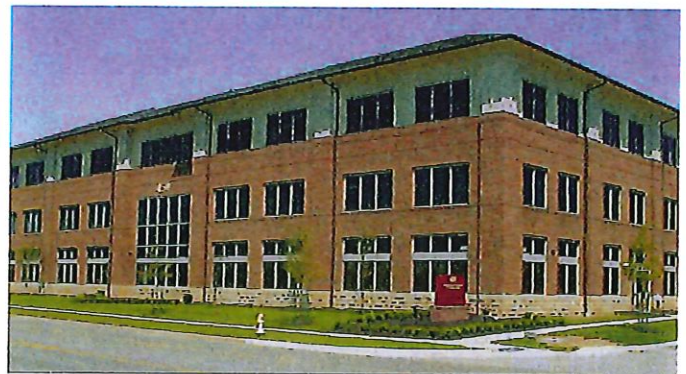
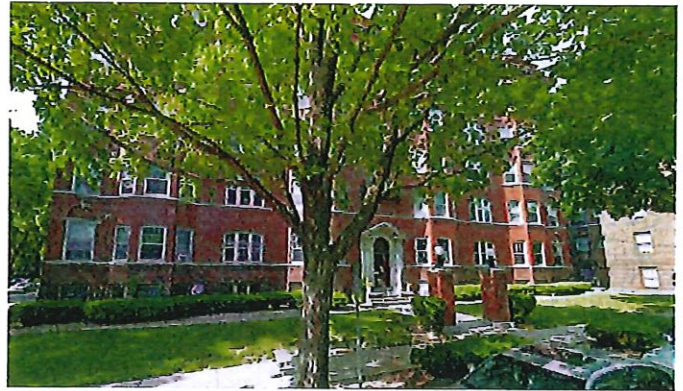


Figure 135-2.7-A. Example Illustrations of General Building Type



# 135-2. BUILDING TYPES

## General Building

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### 2.7.3 GENERAL BUILDING REGULATIONS

	RX1	RX2, P2	NX3	EX, 11, 12	REFERENCES
A. Building Siting Refer to Figure 135-2.7-B					
1 Multiple Principal Buildings	Permitted	Permitted	Permitted	Permitted	See <a href="#">Note 1</a> for double frontage lots adjacent to N districts.
2 Minimum Primary Frontage Coverage	75%	80%	80%	65%	See <a href="#">Note 1</a> for courtyards. See <a href="#">135-3.2</a> for measurement information. See <a href="#">Note 1</a> for double frontage lots adjacent to N districts.
3 Primary Frontage Build-to Zone (ft)	10 to 20	15 to 25	15 to 25; front setback averaging applies	5 to 30	Minimum pedestrian area is required per <a href="#">Note 3</a> . See <a href="#">135-3.7</a> for measurement information.
4 Non-Primary Frontage Build-to Zone (ft)	5-20	5-25	5-25	5-30	
5 Minimum Interior Side Setback (ft)	10	10	10	15	See <a href="#">135-7.8</a> for landscape buffer.
6 Minimum Rear Setback (ft)	15, 5 at alley				See <a href="#">Note 1</a> for double frontage lots adjacent to N districts.
7 Maximum Impervious Area Additional Semi-Pervious Area	65% 20%	75% 20%	75% 20%	70% 15%	See <a href="#">135-3.6</a> for measurement information.
8 Surface Parking/Loading Location Garage/Loading Entrance Location	Rear yard, limited side yard only Any non-primary street or rear facade				See <a href="#">Note 3</a> for limited side yard parking; See <a href="#">135-4.3.8</a> for additional garage door requirements.
9 Permitted Driveway Access	Improved alley; if no improved alley exists or is planned, one driveway off each non-primary street if no alley or non-primary street exists, one driveway off a primary street with approval of city engineer				See <a href="#">135-6.12</a> for additional driveway regulations.
B. Height Refer to Figure 135-2.7-C					
10 Minimum Overall Height	2 stories	2 stories	3 stories	1 story	See <a href="#">135-3.7</a> for measurement information. See <a href="#">Note 1</a> for double frontage lots adjacent to N districts.
11 Maximum Overall Height	3 stories	5 stories; 3 stories for portions of the building within 100 ft of an N district.	8 stories; 3 stories for portions of the building within 100 ft of an N district.	5 stories	
12 All Stories: Minimum Height (ft) Maximum Height (ft)	9 14	9 14	9 14	9 14	
Story heights are measured floor to floor. See <a href="#">135-3.7</a> for measurement information.					

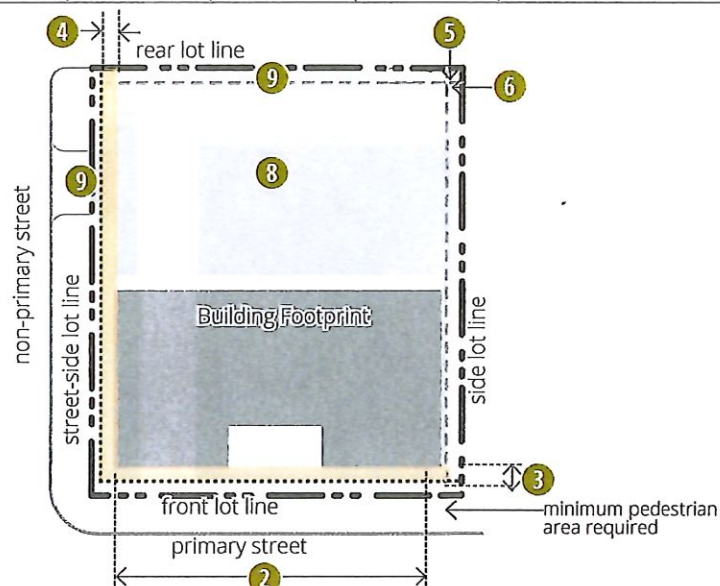


Figure 135-2.7-B. General Building; Building Siting



	RX1	RX2, P2	NX3	EX, I1, I2	REFERENCES
<b>C. Uses</b> Refer to Figure 135-2.7-C					
13 All Stories & Basement	Any permitted use except the following are limited to no more than 25% of the ground floor area: Commercial Service; Day Care; Eating and Drinking Places; Retail Sales; Sports and Recreation, Private/Participant; and Vehicle Sales and Service*				See chapter 134, article 3 for permitted uses per zoning district and definition of uses. *= EX, I1 and I2 only for Vehicle Sales and Service
14 Required Occupied Space	Minimum 20-ft depth on all full height floors of primary frontages				See 135-12.1 for definition of occupied space.
15 Parking/Loading within Principal Building	Permitted fully in any basement and rear of all other stories behind occupied space as required above.				Refer to 135-2.17 for design on street frontages.
<b>D. Street, Public Way, &amp; Courtyard Facades and Roof Requirements</b> Refer to Figure 135-2.7-D					
16 Minimum Transparency per Each Story & any Half Story	18%; blank wall limitations apply				See 135-3.8 for measurement information and the definition of transparency and blank wall limitations.
17 Entrance Location & Number	Principal entrance required on primary frontage facade; minimum of one per 100 ft of primary street facade; no expanse on a primary frontage facade shall be greater than 100ft without a principal entrance				See 135-4.3.6 for principal entryway design requirements.
18 Primary Frontage Entryway(s) Configuration	Entry doors shall be off a stoop, minimum 6ft wide and 3ft deep				See 135-4.3.6 for principal entryway design requirements.
19 Primary Frontage Entrance & Ground Story Elevation	At least 80% of entrances and the ground story shall be within 30 inches vertically of adjacent sidewalk elevation OR between 30 inches and 5 ft with visible basement (transparency required)				
20 Primary Frontage Ground Story Vertical Facade Divisions	At least one shadow line per every 120ft of facade width				See 135-12.1 for definition of shadow line. See 135-4.3.9 for building articulation requirements.
21 Horizontal Facade Divisions	At least one shadow line within 3ft of the any story line between 1st and 3rd story; For buildings over 5 stories: minimum of one shadow line within 3ft of any story between 3rd and 6th story				See 135-12.1 for definition of shadow line.
22 Permitted Roof Types	Parapet, flat, pitched; tower permitted				See 135-2.20 for roof types.

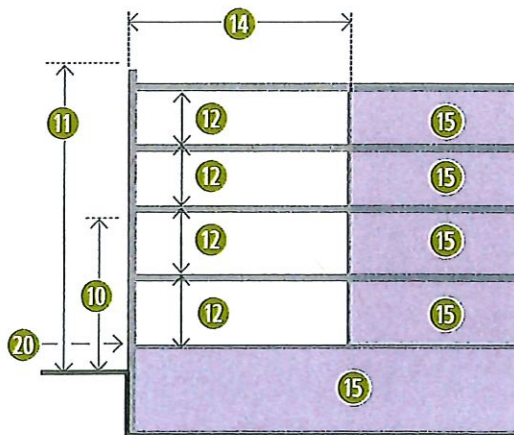


Figure 135-2.7-C. General Building: Height &amp; Uses Requirements

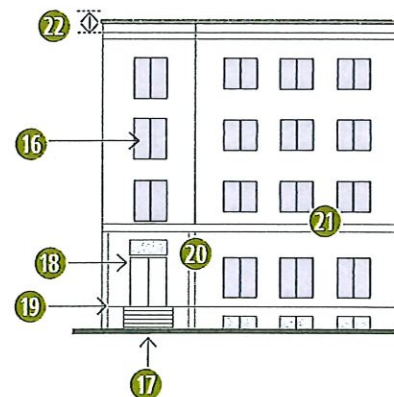


Figure 135-2.7-D. General Building: Facade Requirements



# 135-2. BUILDING TYPES

## General Building

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### E. Additional Regulations/Notes

1. RX and EX to N District Transition. RX and EX district double frontage lots, as defined in section 135-12.1 of this chapter that are deeper than 120 feet and share a primary frontage with an N district shall provide the following:
  - a. One or more of the following building types shall front the adjacent N district primary street:
    - i. House permitted in the adjacent N district.
    - ii. Row or Flat building as permitted in NX2.
    - iii. General building as permitted but limited to three stories a minimum of depth of 30 feet into lot from the N district primary frontage.
  - b. The RX or EX district lot shall incorporate an interior alley, lane, or drive to provide access to both building parking and the garage/ parking for the House, Row, or Flat building.
  - c. The rear of all buildings shall be fully screened by building from both primary streets.
2. Courtyards. One courtyard, maximum of 30% of facade width or 50 feet wide, whichever is less, may count towards the minimum primary frontage coverage.
3. Minimum Pedestrian Area. Along all streets where the area from the back of curb to the lot line is less than 13 feet, the build-to zone shall begin at 13 feet from the back of curb and extend into the site the depth defined.
4. Limited Side Yard Parking. Limited side yard parking means one double- or single-loaded aisle, with the centerline of the aisle perpendicular to the street, is permitted in the interior side yard. Maximum width of double-loaded is 60 feet and 40 feet for single-loaded, measured along the right-of-way. Parking may be angled or head-in. Frontage Buffer required per section 135-7.7 of this chapter.
5. Fuel Station. Where permitted as a use by

chapter 134 of this code, a building on the premises of a fuel station shall be located in the build-to zone and shall occupy any corner. For the EX, I1 and I2 districts only, the building shall fulfill all requirements of the building type with the exception of the minimum primary frontage coverage and the minimum height requirement. For all other districts, the building shall fulfill all requirements of the building type.



## 135-2.8 Commercial Center

### 2.8.1 DESCRIPTION AND INTENT

The Commercial Center building type is a modified Storefront building intended to accommodate a higher level of automobile access while maintaining pedestrian accessibility. This building type is limited to use in mixed-use community nodes and corridors.

The Commercial Center building is a collection of multiple buildings with some buildings built close to the front lot line. A high level of storefront glass on the ground floor and regularly spaced entrances along the front and main parking lot facades increase walkability within the node and along corridors. Parking is located in the center of the lot behind street-facing buildings and in interior side yard parking lots.

### 2.8.2 ILLUSTRATIVE IMAGES

The images shown in Figure 135-2.8-A are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.

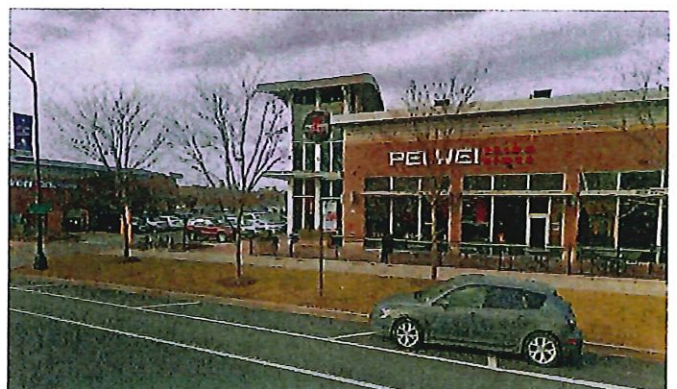
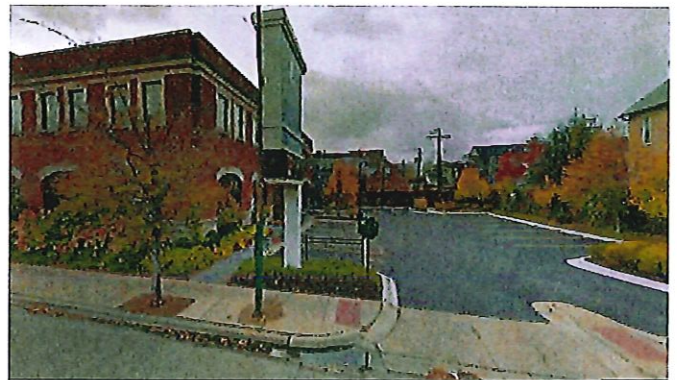
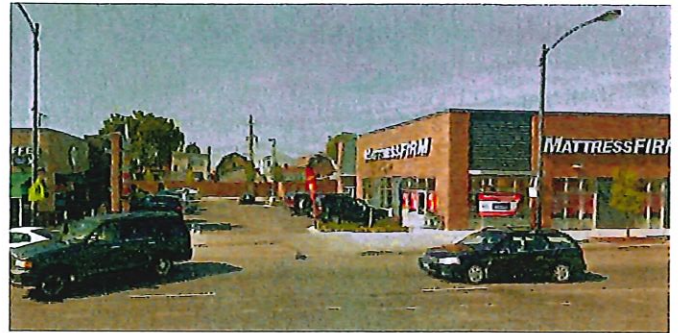


Figure 135-2.8-A. Example Illustrations of the Commercial Center Building Type



# 135-2. BUILDING TYPES

## Commercial Center

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### 2.8.3 COMMERCIAL CENTER REGULATIONS

		MX3	CX	REFERENCES
A. Building Siting Refer to Figure 135-2.8-B				
1	Multiple Principal Buildings	At least 2 separate buildings are required to utilize this type		See <a href="#">Note 1</a> for double frontage lots adjacent to N districts.
2	Minimum Primary Frontage Coverage	60%	50%	See <a href="#">135-3.2</a> for measurement information. See <a href="#">Note 1</a> for double frontage lots adjacent to N districts.
3	Primary Frontage Build-to Zone (ft)	0-10	0-15	Minimum pedestrian area is required per <a href="#">Note 1</a> . See <a href="#">135-3.7</a> for measurement information.
4	Non-Primary Frontage Build-to Zone (ft)	0-10	0-20	
5	Minimum Interior Side Setback (ft)	0; 10 adjacent to different district		See <a href="#">135-7.8</a> for landscape buffer.
6	Minimum Rear Setback (ft)	15, 0 at alley	15, 0 at alley	See <a href="#">Note 1</a> for double frontage lots adjacent to N districts.
7	Maximum Impervious Area Additional Semi-Pervious Area	75% 15%	75% 15%	See <a href="#">135-3.6</a> for measurement information.
8	Surface Parking/Loading Location Garage/Loading Entrance Location	Center, rear yard, interior side yard Any non-primary street, interior side or rear facade		See <a href="#">Note 4</a> for pedestrian pathways; See <a href="#">Note 5</a> for limited side yard parking; See <a href="#">135-4.3.8</a> for additional garage door requirements.
9	Permitted Driveway Access	1 per every 300 ft of primary and non-primary frontage		See <a href="#">135-6.12</a> for additional driveway regulations.
B. Height Refer to Figure 135-2.8-C				
10	Minimum Overall Height	1 stories	1 stories	See <a href="#">135-3.7</a> for measurement information.
11	Maximum Overall Height	5 stories	3 stories	
12	Primary Frontage Ground Story: Minimum Height (ft) Maximum Height (ft)	12 18	15 24	Story heights are measured floor to floor. See <a href="#">135-3.7</a> for measurement information. See <a href="#">Note 6</a> for pedestrian pathways;
13	All Other Stories: Minimum Height (ft) Maximum Height (ft)	9 12	9 12	

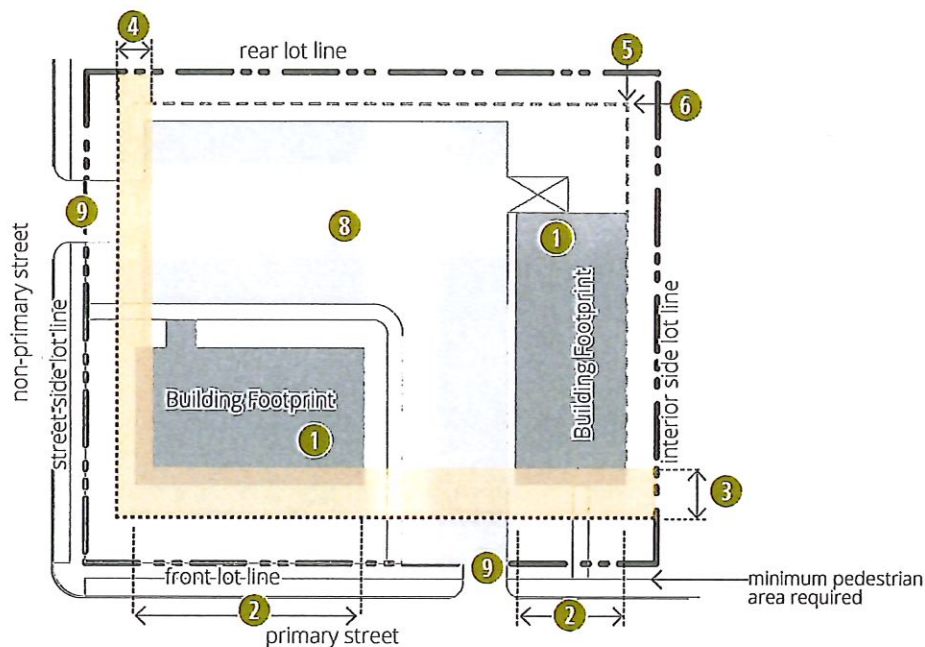


Figure 135-2.8-B. Commercial Center: Building Siting



The diagram shows a building floor plan with the following features:

- Rooms:**
  - Room 11: A large room on the left side.
  - Room 12: A room below Room 11.
  - Room 13: A small room above Room 12.
  - Room 14: A room to the right of Room 12.
  - Room 16: A room at the top, above Room 13.
  - Room 17: Three rooms on the right side, one above Room 14 and two below it.
- Dimensions:**
  - 11: Vertical dimension of Room 11.
  - 10: Vertical dimension of Room 12.
  - 12: Vertical dimension of Room 12.
  - 13: Vertical dimension of Room 13.
  - 14: Vertical dimension of Room 14.
  - 16: Horizontal dimension of Room 16.
- Other Labels:**
  - tower: An arrow pointing to the left wall of the building.

135-2-31



### E. Additional Regulations/Notes

1. MX and CX to N District Transition. MX and CX district double frontage lots as defined in section 135-12.1 of this chapter that are deeper than 120 feet and share a primary frontage with an N district shall provide the following:
  - a. One or more of the following building types shall front the adjacent N district primary street:
    - i. House permitted in the adjacent N district.
    - ii. Row or Flat building as permitted in NX2.
  - b. The MX or CX district lot shall incorporate an interior alley, lane, or drive to provide access to both the Storefront building parking and the garage/parking for the House, Row, or Flat building.
  - c. The rear of all buildings shall be fully screened by building from both primary streets.
2. Courtyards. One courtyard, maximum of 30% of facade width or 50 feet wide, whichever is less, may count towards the minimum primary frontage coverage.
3. Minimum Pedestrian Area. Along all streets where the area from the back of curb to the lot line is less than 13 feet, the build-to zone shall begin at 13 feet from the back of curb and extend into the site the depth defined.
4. Pedestrian Pathway. Direct, continuous separate pedestrian pathways are required connecting the sidewalk along the primary frontage to each shop door on the main parking lot frontage, and dividing parking lots into segments no longer than 300 feet in length. The pathway shall include the following:
  - a. Streetscape is required along the pedestrian pathway per section 135-7.6 of this chapter. Pavement shall be small unit pavers, concrete scored in less than four-foot increments, or other similar material approved by the community development director.
  - b. Perpendicular crossings of parking drives are permitted, but the pavement shall match the pathway.
  - c. Parallel paths to parking shall be located in a raised median or island.
5. Limited Side Yard Parking. Limited side yard parking means one double- or single-loaded aisle, with the centerline of the aisle perpendicular to the street, is permitted in the interior side yard. Maximum width of double-loaded is 60 feet and 40 feet for single-loaded, measured along the right-of-way. Parking may be angled or head-in. Frontage Buffer required per section 135-7.7 of this chapter.
6. Warehouse-Retail Space. In CX, taller floor to floor heights may be permitted for warehouse-retail space with approval of a Type 1 design alternative per section 135-9.2 of this chapter and where all other primary frontage and main parking lot frontage ground story requirements are fulfilled:
  - a. The maximum height of the primary or main parking frontage for up to a 24-foot wide segment may be 28 feet.
  - b. The taller space shall not front any other street.
  - c. The taller space shall not be more than 30 feet from any other side, or rear lot line.
7. MX District Deck and Patio. Any deck or patio associated with a non-residential use in any MX district shall be located in the rear, side, or street-side yard. A deck or patio in the front yard may be approved through a Type 1 design alternative, either subject to primary frontage coverage or with an Type 1 design alternative to primary frontage coverage.
8. Fuel Station. Where permitted as a use by chapter 134 of this code, a building on the premises of a fuel station shall be located in the build-to zone and shall occupy any corner. For the CX district only, the building shall fulfill all requirements of the building type with the exception of the minimum primary frontage coverage and the minimum height requirement. For all other districts, the building shall fulfill all requirements of the building type.



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## 135-2.9 Workshop/Warehouse

### 2.9.1 DESCRIPTION AND INTENT

The Workshop/Warehouse building type is a modified General building that allows loading bays or garage entrances on the front facade. In some districts, the number of bays on the front facade are limited. In these locations, the intent is to allow for light industrial and warehouse uses in a more pedestrian-oriented setting.

In the industrial (I) districts, this building type is very flexible to allow a wide range of forms, accommodating larger-scale truck loading, warehousing, and manufacturing.

### 2.9.2 ILLUSTRATIVE IMAGES

The images shown in [Figure 135-2.9-A](#) are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.



Figure 135-2.9-A. Example Illustrations of Workshop/Warehouse Building Type



# 135-2. BUILDING TYPES

## Workshop/Warehouse

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### 2.9.3 WORKSHOP/WAREHOUSE REGULATIONS

EX		I1, I2	REFERENCES
<b>A. Building Siting</b> Refer to Figure 135-2.9-B			
1 Multiple Principal Buildings	Permitted	Permitted	See <a href="#">Note 1</a> for double frontage lots adjacent to N districts.
2 Minimum Primary Frontage Coverage	Not required	Not required	
3 Primary Frontage Setback (ft)	15 setback	25 setback	Minimum pedestrian area is required per <a href="#">Note 2</a> . See <a href="#">135-3.7</a> for measurement information.
4 Non-Primary Frontage Build-to-Zone/ Setback (ft)	0-15 build-to zone	25 setback	
5 Minimum Interior Side Setback (ft)	0; 10 adjacent to different district	0; 25 abutting N district	See <a href="#">135-7.8</a> for landscape buffer.
6 Minimum Rear Setback (ft)	15, 0 at alley	0; 25 abutting N district	See <a href="#">Note 1</a> for double frontage lots adjacent to N districts.
7 Maximum Impervious Area Additional Semi-Pervious Area	85% 15%	65% 15%	See <a href="#">135-3.6</a> for measurement information.
8 Surface Parking/Loading Location Garage/Loading Entrance Location	Rear yard, interior side yard Rear and interior side facades only;	Rear yard, interior side yard rear and interior side facades only	See <a href="#">135-4.3.8</a> for additional garage door requirements on primary frontage facades.
9 Permitted Driveway Access	Improved alley unlimited; 1 per every 300 ft of primary and non-primary frontage		See <a href="#">135-6.12</a> for additional driveway regulations.
<b>B. Height</b> Refer to Figure 135-2.9-C			
10 Minimum Overall Height	1 stories	1 stories	See <a href="#">135-3.7</a> for measurement information.
11 Maximum Overall Height	3 stories	5 stories and 75 ft	
12 Primary Frontage Ground Story: Minimum Height (ft) Maximum Height (ft)	15 20	10; 15 for single story none	Story heights are measured floor to floor. See <a href="#">135-3.7</a> for measurement information.
13 All Other Stories: Minimum Height (ft) Maximum Height (ft)	9 14	9 none	

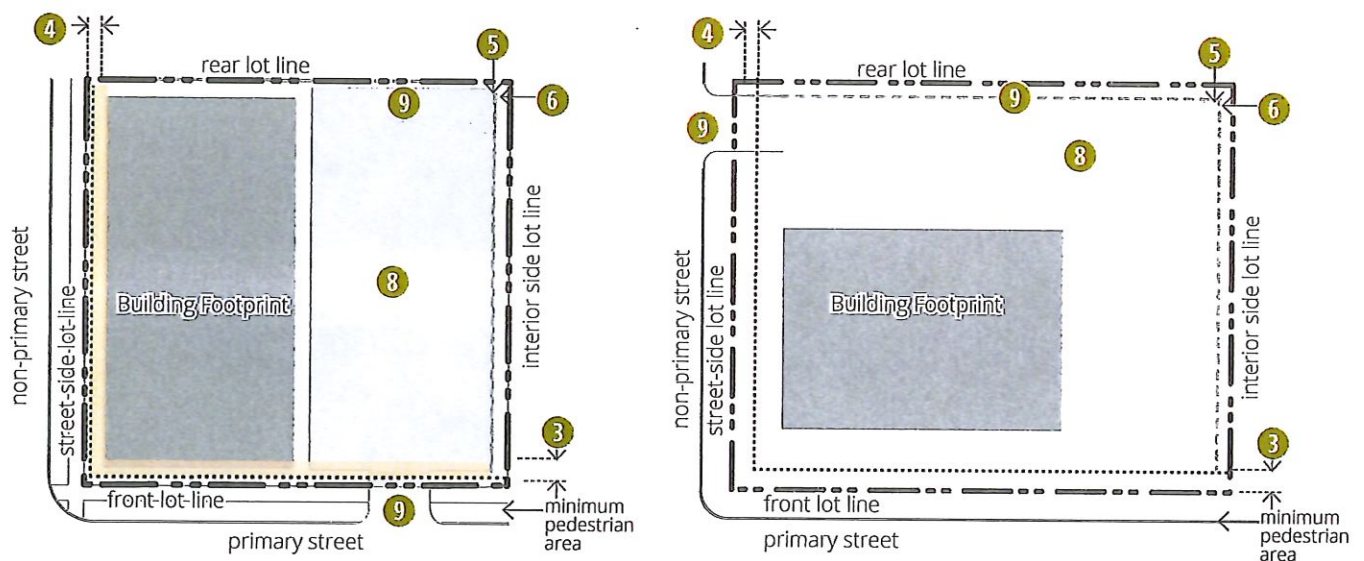


Figure 135-2.9-B. Workshop/Warehouse: Building Siting



EX		11, 12	REFERENCES
<b>C. Uses</b> Refer to Figure 135-2.9-C			
14 All Stories	All permitted uses		See chapter 134, article 3 for permitted uses per zoning district and definition of uses.
15 Required Occupied Space	Minimum 20-ft depth on ground story of primary frontages shall be office space.	None required.	See 135-12.1 for definition of occupied space.
16 Parking/Loading within Principal Building	Permitted fully in basement and all stories behind occupied space as required above.		Refer to 135-2.17 for design on street frontages.
<b>D. Street Facades and Roof Requirements</b> Refer to Figure 135-2.9-D			
17 Minimum Transparency per Each Story & any Half Story	15% ; blank wall limitations apply to primary street	12% ; blank wall limitations apply to primary street	See 135-3.8 for measurement information and the definition of transparency and blank wall limitations.
18 Entrance Location & Number	Minimum of one entrance per primary street facade	none required	See 135-4.3.6 for principal entryway design requirements.
19 Primary Frontage Ground Story Vertical Facade Divisions	At least one shadow line per every 30ft of facade width	none required	See 135-12.1 for definition of shadow line. See 135-4.3.9 for building articulation requirements.
20 Horizontal Facade Divisions	At least one shadow line within 3ft of the top of the ground story	none required	See 135-12.1 for definition of shadow line.
21 Permitted Roof Types	Parapet, flat, pitched; tower permitted	none required	See 135-2.20 for roof types.

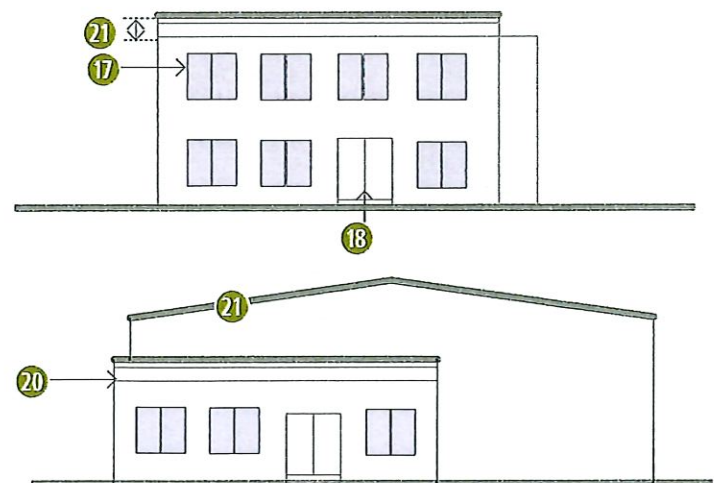
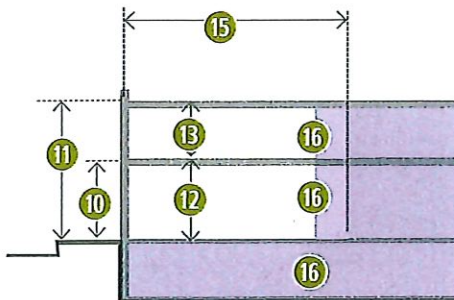


Figure 135-2.9-C. Workshop/Warehouse: Height &amp; Uses Requirements

Figure 135-2.9-D. Workshop/Warehouse: Facade Requirements



## 135-2. BUILDING TYPES

### Workshop/Warehouse

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#### E. Additional Regulations/Notes

1. EX and I to N District Transition. EX and I district double frontage lots as defined in section 135-12.1 of this chapter that are deeper than 120 feet and share a primary frontage with an N district shall provide the following:
  - a. One or more of the following building types shall front the adjacent N district primary street:
    - i. Row or Flat building as permitted in NX2.
    - ii. General building as permitted in RX1.
  - b. The EX or I district lot shall incorporate an interior alley, lane, or drive to provide access to both the Workshop/Warehouse building parking and the garage/parking for the Row, Flat, or General building.
  - c. The rear of all buildings shall be fully screened by building from both primary streets.
2. Minimum Pedestrian Area. Along all streets where the area from the back of curb to the lot line is less than 13 feet, the build-to zone shall begin at 13 feet from the back of curb and extend into the site the depth defined.
3. Self-Service Storage. Self-service storage buildings shall comply with the following:
  - a. A minimum of 10 feet of separation between buildings.
  - b. A maximum building height of 25 feet.
  - c. A maximum building length or depth of 150 feet.
  - d. All siding materials within four feet of grade shall consist of brick, concrete masonry units, concrete surfaces or stone as defined as Major Facade Materials in section 135-3.2.2 of this chapter.
  - e. The doors to individual units or to common loading areas shall not face a public street, primary frontage or N district.
  - f. All units shall be located within a fenced and gated compound.
- g. All fencing shall be wrought iron or tubular steel construction painted earth tones or black to complement the buildings.
- h. All fencing shall be supported by masonry pillars that generally match the siding materials of the building(s).



**135-2.10 Civic Building****2.10.1 DESCRIPTION AND INTENT**

The Civic Building is the most flexible building type intended only for buildings occupied by uses in public, civic and institutional use category pursuant to section 134-3.4 or by event centers pursuant to section 135-3.5.3.

These buildings are distinctive within the urban fabric created by the other building types and could be designed as unique, iconic structures.

In contrast to most of the other building types, a minimum landscaped, front yard setback line is set instead of a build to zone. Parking is typically limited to the rear and small side yard lots.

**2.10.2 ILLUSTRATIVE IMAGES**

The images shown in Figure 135-2.10-A are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.

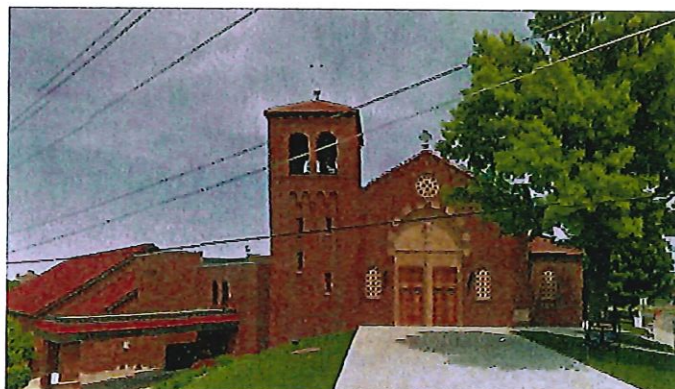
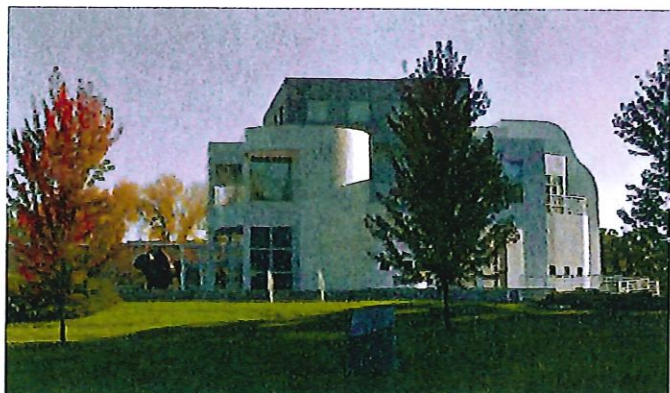
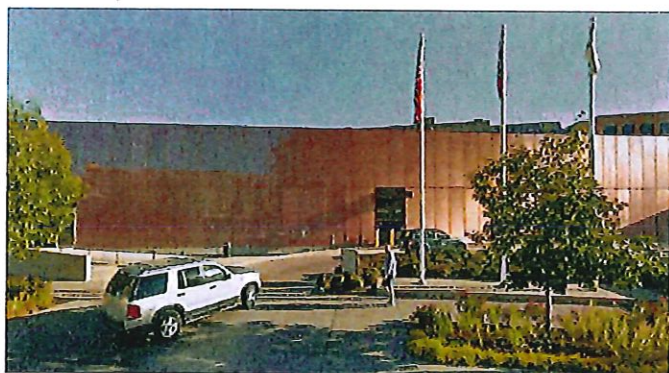
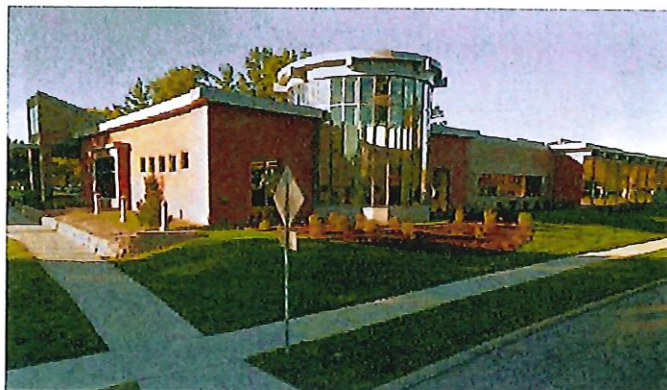


Figure 135-2.10-A. Example Illustrations of the Civic Building Type



# 135-2. BUILDING TYPES

## Civic Building

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### 2.10.3 CIVIC BUILDING REGULATIONS

	DX1, DX2, DXR	MX, RX, CX, EX, I, NX, P	REFERENCES
<b>A. Building Siting</b> Refer to Figure 135-2.10-B			
1 Multiple Principal Buildings	Not permitted	Permitted	
2 Minimum Primary Frontage Coverage	Not required	Not required	
3 Primary Frontage Setback (ft)	5	20	Minimum pedestrian area is required per Note 1. See 135-3.7 for measurement information.
4 Non-Primary Frontage Setback (ft)	5	15	
5 Minimum Interior Side Setback (ft)	5	15	See 135-7.8 for landscape buffer.
6 Minimum Rear Setback (ft)	15, 0 at alley	20, 5 at alley	See 135-7.8 for landscape buffer.
7 Maximum Impervious Area Additional Semi-Pervious Area	85% 10%	70% 15%	See 135-3.6 for measurement information.
8 Surface Parking/Loading Location Garage/Loading Entrance Location	Rear, interior structure Improved alley, non-primary facade	Rear yard, limited interior side yard improved alley, non-primary facade	See 135-4.3.8 for additional garage door requirements on primary frontage facades.
9 Permitted Driveway Access	Improved alley, one off each non-primary street	Improved alley, 1 off each non-primary street; drop-off drive permitted off any street	See 135-6.12 for additional driveway regulations including circular drop-off drives.

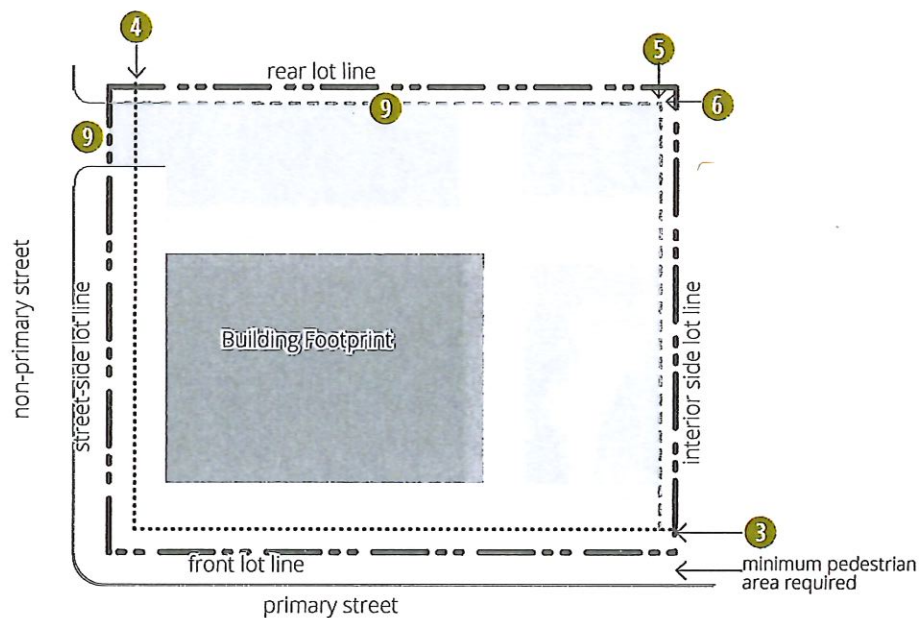


Figure 135-2.10-B. Civic Building: Building Siting



	DX1, DX2, DXR	MX, RX, CX, EX, I, NX, P	REFERENCES
<b>B. Height</b> Refer to Figure 135-2.10-C			
10 Minimum Overall Height	1 stories	1 stories	See <a href="#">135-3.7</a> for measurement information.
11 Maximum Overall Height	5 stories and 75 ft	3 stories	See <a href="#">135-2.18</a> for height limitations in Capitol Dominance Area.
12 Primary Frontage Ground Story: Minimum Height (ft) Maximum Height (ft)	10 30	10 24	Story heights are measured floor to floor. See <a href="#">135-3.7</a> for measurement information.
13 All Other Stories: Minimum Height (ft) Maximum Height (ft)	9 14	9 14	
<b>C. Uses</b> Refer to Figure 135-2.10-C			
14 All Stories	Only permitted Public, Civic, and Institutional uses per <a href="#">134-3.4</a> and Assembly and Entertainment per <a href="#">135-3.5.3</a>		See <a href="#">chapter 134, article 3</a> for permitted uses per zoning district and definition of uses.
15 Required Occupied Space	Minimum 30 ft deep on full height stories from any primary frontages		See <a href="#">135-12.1</a> for definition of occupied space.
16 Parking/Loading within Principal Building	Permitted fully in any basement and rear of all other stories behind occupied space as required above.		Refer to <a href="#">135-2.17</a> for design on street frontages.
<b>D. Street, Public Way, &amp; Courtyard Facades and Roof Requirements</b> Refer to Figure 135-2.10-D			
17 Minimum Transparency per Each Story & any Half Story	12%	12%	See <a href="#">135-3.8</a> for measurement information and the definition of transparency and blank wall limitations.
18 Entrance Location & Number	Minimum of one principal entrance per primary street facade	Minimum of one principal entrance on a primary street facade	See <a href="#">135-4.3.6</a> for principal entryway design requirements.
19 Permitted Roof Types	Parapet, flat, pitched; Tower permitted; Special roof permitted per <a href="#">135-2.20.2</a>		See <a href="#">135-2.20</a> for roof types.

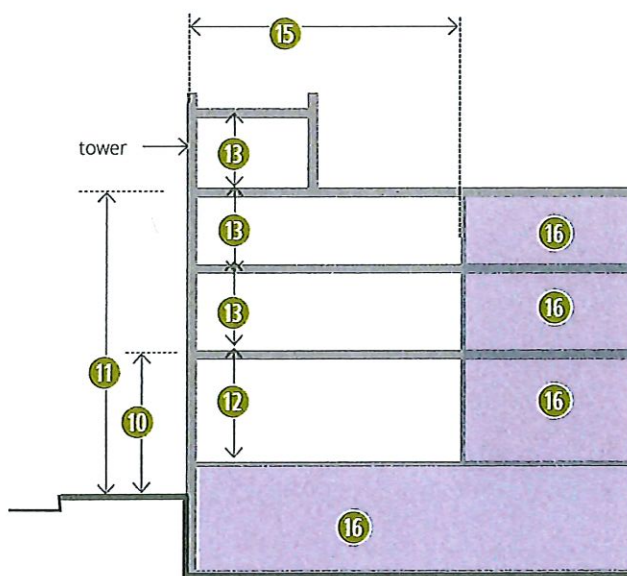


Figure 135-2.10-C. Civic Building: Height &amp; Uses Requirements

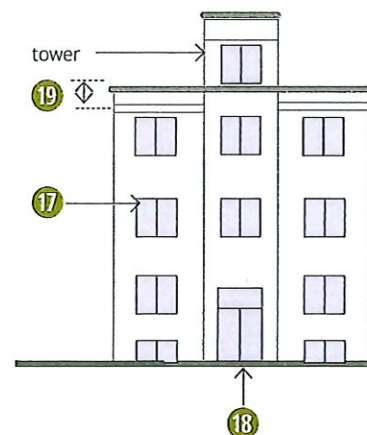


Figure 135-2.10-D. Civic Building: Facade Requirements



# 135-2. BUILDING TYPES

## Civic Building

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### **E. Additional Regulations/Notes**

1. Minimum Pedestrian Area. Along all streets where the area from the back of curb to the lot line is less than 13 feet, the setback shall begin at 13 feet from the back of curb and extend into the site the depth defined.
2. MX District Deck and Patio. Any deck or patio associated with a non-residential use in any MX district shall be located in the rear, side, or street-side yard. A deck or patio in the front yard may be approved through a Type 1 design alternative, either subject to primary frontage coverage or with an Type 1 design alternative to primary frontage coverage.



### 135-2.11 Flat Building Type

#### 2.11.1 DESCRIPTION AND INTENT

The Flat building contains multiple residential units within a building form scaled to fit within existing residential neighborhoods. This building form is modeled after historic apartment buildings.

The Flat building can be configured in several ways, from a narrow, two-stacked-unit building to a larger multi-unit building. However, the width of the building along the street is limited.

Design components of the Flat building include a high level of transparency, such as windows on the front facade, a clearly defined principal entrance on the street, and a yard area surrounding the building similar to adjacent residential.

#### 2.11.2 ILLUSTRATIVE IMAGES

The images shown in Figure 135-2.11-A are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.

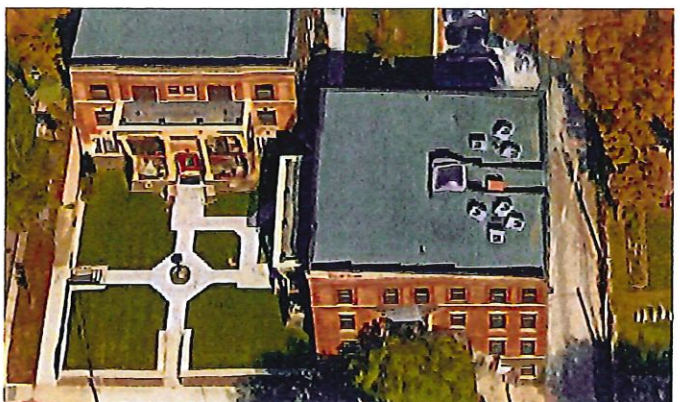
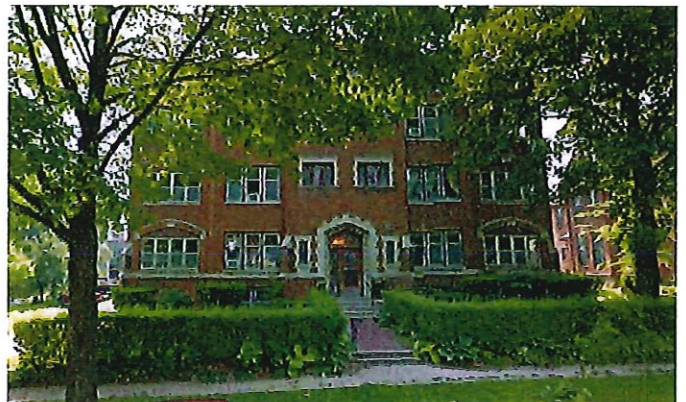


Figure 135-2.11-A. Example Illustrations of Flat Buildings



# 135-2. BUILDING TYPES

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## Flat Building Type

### 2.11.3 FLAT BUILDING REGULATIONS

	NX2, NX2a	RX1	RX2, DXR, NX3	REFERENCES
<b>A. Building Siting.</b> Refer to Figure 135-2.11-B.				
1 Multiple Principal Buildings	Permitted	Permitted	Permitted	
2 Accessory Building Locations	Rear yard only			See 135-2.22.2 for accessory buildings.
3 Minimum Front Lot Line Coverage	80%	80%	80%	See Note 1 for multiple building requirements. See 135-3.2 for measurement information.
4 Front Build-to Zone or Minimum Setback as Noted(ft)	Setback: within 5 of front setback averaging, min. 10, max. 50 Build-to Zone defined for Sherman Hill	12 to 25 Build-to Zone	15 to 25 Build-to Zone; front setback averaging applies	Minimum pedestrian area is required per Note 3. See Note 6 for specific requirements in certain locations.
5 Street Side Build-to Zone (ft)	Setback: within 5 of front setback averaging, minimum 10	10 to 15	15 to 20; front setback averaging applies	See 135-3.3 for measurement information. See 135-2.19 for Sherman Hill Build-to Zones.
6 Minimum Interior Side Setback (ft)	7, 15 total for both	7, 15 total for both	7, 15 total for both	
7 Minimum Rear Setback (ft)	45; 15 when located on block ends	30	25	
8 Minimum Building Width (ft) Maximum Building Width (ft)	30 70, 120 on block ends	40 90	60 120	See 135-3.5 for measurement information.
9 Minimum Lot Width (ft) Minimum Lot Area (ft)	35 for single-unit wide; 70 for 2-unit wide 8,400	30 for single-unit wide; 60 for 2-unit wide 7,200	40 for single-unit wide; 80 for 2-unit wide 9,600	
10 Maximum Building Coverage Maximum Impervious Area Additional Semi-Pervious Area	45% 65% 15%	30% 50% 15%	45% 65% 20%	See Note 4 for open space requirements. See 135-3.6 for measurement information.
11 Surface Parking Location Garage Entrance Location	Rear yard only Rear or street side facade			See 135-4.3.8 for additional garage door requirements.
12 Permitted Driveway Access	Improved alley; if no improved alley exists, one driveway off non-primary street permitted; if no non-primary street exist, one driveway off primary street permitted.			See 135-6.12 for additional driveway regulations.

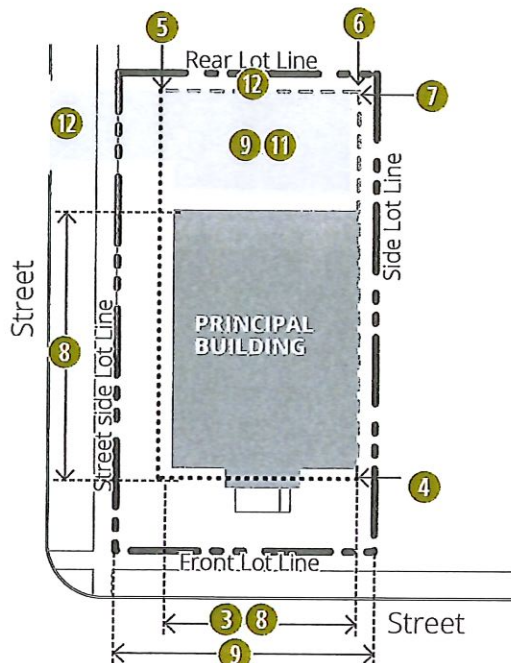


Figure 135-2.11-B. Flat Building: Building Siting



NX2, NX2a		RX1	RX2, DXR, NX3	REFERENCES	
<b>B. Height.</b> Refer to Figure 135-2.11-C					
13	Minimum Overall Height	2 story	2 story	3 story	See 135-3.7 for measurement information. Story heights are measured floor to floor.
14	Maximum Overall Height	3.5 stories; up to 5.5 stories by Type 2 design alternative per 135-9.2 of this chapter	3.5 stories; up to 5.5 stories by Type 2 design alternative per 135-9.2 of this chapter	5.5 stories; up to 10 stories by Type 2 design alternative per 135-9.2 of this chapter	
15	All Full Stories: (Measured floor-to-floor) Minimum Height (ft) Maximum Height (ft)	9 12	9 12	9 14	
<b>C. Uses.</b> Refer to Figure 135-2.11-C					
16	All Stories	Any permitted use			See chapter 134, article 3 for permitted uses per zoning district and definition of uses.
17	Required Occupied Space	Minimum 20-ft depth on all full height floors of primary frontages			See 135-12.1 for definition of occupied space.
18	Parking within Principal Building	Permitted fully in any basement and rear of all other stories behind occupied space as required above.			Refer to 135-2.17 for design on street frontages.
<b>D. Street Facades &amp; Roof Requirements.</b> Refer to Figure 135-2.11-D					
19	Minimum Transparency per each Full Story & any Visible Basement	15%; blank wall limitations apply	20%; blank wall limitations apply		See 135-3.8 for measurement information and definition of blank wall limitations.
20	Principal Entrance Number Principal Entrance Location	Minimum one per 90 ft of building facade Front street facade			See 135-4.3.6 for principal entryway design requirement.
21	Required Entrance Configuration Entrance Elevation	Stoop or porch Between 0 and 4.5 ft above public sidewalk		Stoop or porch Between 2.5 and 6 ft above public sidewalk	See 135-12.1 for definition of stoop and porch.
22	Horizontal Facade Divisions	At least one shadow line within 3 ft of the top of the ground story or any visible basement			See 135-12.1 for definition of shadow line
23	Vertical Facade Divisions	A change in facade plane of at least 12 inches deep required for every 70 ft of front facade			
24	Specific Permitted Major Building Materials	Brick, stone			See 135-4.2 for facade and roof materials
25	Permitted Roof Types	Parapet, low pitched, pitched roof, flat; Tower permitted			See 135-2.20 for roof types

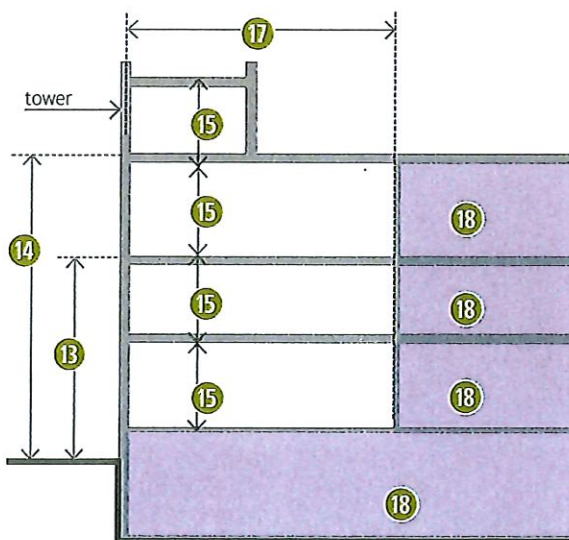


Figure 135-2.11-C. Flat Building: Height and Use Requirements.

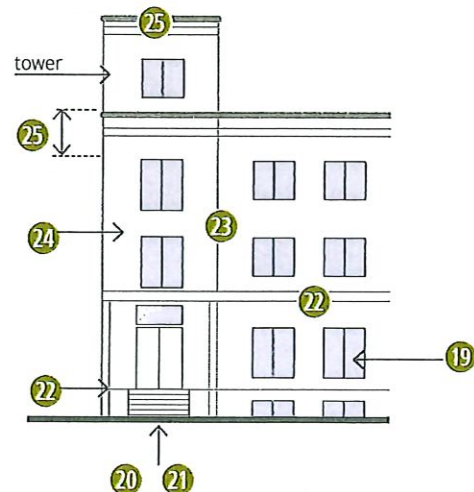


Figure 135-2.11-D. Flat Building: Facade Requirements.



### E. Additional Regulations/Notes

1. Courtyard. A landscaped courtyard may contribute up to 50% of the front lot line coverage requirement. See section 135-12.1 of this chapter for definition of courtyard. The facades of all buildings on the courtyard shall be treated as primary frontage. With a Type 1 design alternative per section 135-9.2 of this chapter, the courtyard may be enclosed on only two sides, provided the other two sides are street frontage.
2. Front Yard Coverage. Maximum impervious and semi-pervious area in any front yard is 25%.
3. Minimum Pedestrian Area. Along all streets where the area from the back of curb to the lot line is less than 12 feet, the build-to zone shall begin at 12 feet from the back of curb and extend into the site the depth defined.
4. Open Space. When at least 0.10 acres of open space, minimum 30 feet in any direction, is located within 1/8 mile of the building entrance and the building is located on a block end, a building coverage up to 60% may be approved with a Type 1 design alternative per section 135-9.2 of this chapter. Existing publicly available open space zoned as a P district fulfills the requirement.
5. Setbacks and Build-to Zones. Setbacks and build-to zones may be modified with a Type 1 design alternative per section 135-9.2 of this chapter, provided the setback and build-to zone are consistent with the neighborhood context. The following may also apply:
  - a. The community development director may request different setbacks in newly developing or redeveloping areas.
  - b. Setbacks and build-to zones for specific streets in the Sherman Hill neighborhood are available from the city.
  - c. Setbacks and build-to zones for Grand Avenue are subject to block face averaging and approval of the community development director.



**135-2.12 Row Building Type****2.12.1 DESCRIPTION AND INTENT**

The Row building is typically comprised of multiple vertical units, each with its own entrance to the street. This building type may be organized as townhouses or rowhouses, or can be utilized for live/work units when non-residential uses are permitted.

Parking is located in the rear yard and may be incorporated either into a detached garage or in an attached garage accessed from the rear of the building. However, when the garage is located within the building, it is behind living space, ensuring the front of the building is occupied.

**2.12.2 ILLUSTRATIVE IMAGES**

The images shown in Figure 135-2.12-A are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.



Figure 135-2.12-A. Example Illustrations of Row Building Type



# 135-2. BUILDING TYPES

## Row Building Type

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### 2.12.3 ROW BUILDING REGULATIONS

	NX1	NX2, NX2a	RX1	RX2, NX3	DXR	REFERENCES
<b>A. Building Siting.</b> Refer to 135-2.13						
1 Multiple Principal Buildings	Permitted	Permitted	Permitted	Permitted	Permitted	See Note 2 for multiple building requirements.
2 Accessory Building Locations	Rear yard only					See 135-2.22.2 for accessory buildings.
3 Minimum Front Lot Line Coverage	70%	80%	80%	80%	90%	See Note 2 for multiple building requirements. See 135-3.2 for measurement information.
4 Front Build-to Zone (ft)	within 2 of front setback averaging	within 5 of front setback averaging; Build-to Zone defined for Sherman Hill	12 to 25	15 to 25; front setback averaging applies	0 to 10	Minimum pedestrian area is required per Note 3. See Note 6 for specific requirements in certain locations. See 135-3.4 for measurement information. See 135-2.19 for Sherman Hill Build-to Zones
5 Street Side Build-to Zone (ft)	within 5 of front setback averaging	15, front setback averaging applies; Build-to Zone defined for Sherman Hill	10 to 15	15 to 20	0 to 10	
6 Min. Interior Side Setback (ft) Min. Space between Buildings (ft)	7.5 12	7.5 12	7.5 10	7.5 10	5 10	
7 Minimum Rear Setback (ft)	30 (rear yard required)	20; 5 on alleys	20; 5 on alleys	20; 5 on alleys	20; 5 on alleys	
8 Minimum Unit Width (ft) Minimum Building Width (ft) Maximum Building Width (ft)	16 3 units; 49 5 units; 110	16 3 units; 49 6 units; 120	16 3 units; 49 6 units; 120	16 3 units; 49 8 units; 160	16 3 units; 49 12 units; 240	See 135-3.5 for measurement information.
9 Minimum Lot Width (ft) Minimum Lot Area (sq ft)	70 8,400	70 8,400	70 7,200	70 9,600		See Note 8 for open space requirements.
10 Maximum Building Coverage Maximum Impervious Area Additional Semi-Pervious Area	35% 55% 20%	45% 65% 20%	45% 65% 20%	50% 65% 20%	80% 75% 20%	See Note 5 for open space requirements. See 135-3.6 for measurement. See Note 4 for front yard coverage.
11 Surface Parking Location Garage Entrance Location	Rear yard only; Rear or side facade				Rear yard only; Rear facade	See Note 9 for garage door locations. See 135-4.3.8 for additional garage door requirements.

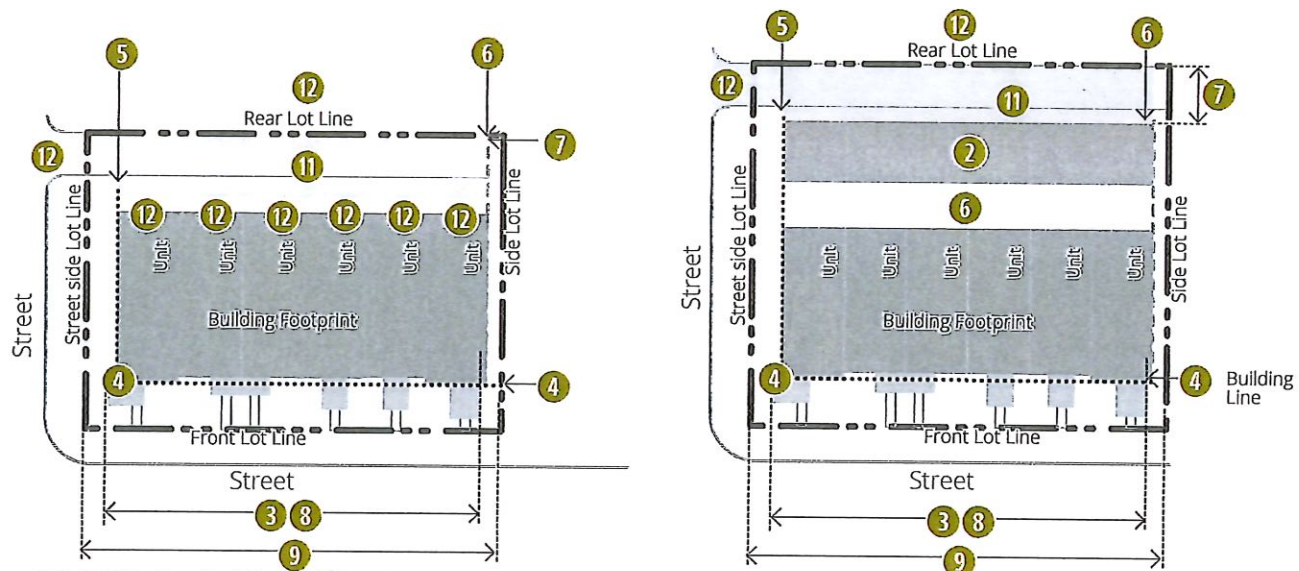


Figure 135-2.12-B. Row Building: Building Siting



## 135-2. BUILDING TYPES

Row Building Type

	NX1	NX2, NX2a	RX1	RX2, NX3	DXR	REFERENCES
12 Permitted Driveway Access	Improved alley; if no improved alley exists, one driveway off non-primary street permitted; if no non-primary street exist, one driveway off primary street permitted.					See 135-6.12 for additional driveway regulations.
B. Height. Refer to Figure 135-2.12-C						
13 Minimum Overall Height	1.5 stories	2 stories	2 stories	2.5 stories	2.5 stories	See 135-3.7 for measurement information. Story heights are measured floor to floor.
14 Maximum Overall Height	2.5 stories	2.5 stories	3 stories	3 stories	4 stories	
15 All Full Stories: (Measured floor-to-floor) Minimum Height (ft) Maximum Height (ft)	9 12	9 12	9 12	9 14	9 14	
C. Uses. Refer to Figure 135-2.12-C						
16 All Stories	All permitted uses	Residential uses; Lodging - Bed and Breakfast; Short-Term Rental; other permitted uses may be incorporated into the units as live-work units. Live-work units shall be designated on the site plan submittal and located either on block ends, corners, or a continuous block face.				See chapter 134, article 3 for permitted uses per zoning district and definition of uses.
17 Required Occupied Space	Minimum 20-ft depth on all full floors on front facade					See 135-12.1 for definition of occupied space.
18 Parking within Principal Building	Permitted fully in any basement and rear of all other stories behind occupied space as required above.					Refer to 135-4.3.8 for design of garage doors.
D. Street Facades & Roof Requirements. Refer to Figure 135-2.12-D						
19 Minimum Transparency per each Full Story & any Visible Basement	15%; blank wall limitations apply			20%; blank wall limitations apply		See 135-3.8 for measurement information and definition of blank wall limitations.
20 Principal Entrance Number Principal Entrance Location	Minimum one per unit on a street facade or courtyard/open space per Note 1; Front street facade					
21 Required Entrance Configuration Entrance Elevation	Stoop or porch between 0 and 4.5 ft above public sidewalk			Stoop or porch between 2.5 and 6 ft above public sidewalk		See 135-12.1 for definition of stoop and porch.
22 Horizontal Facade Divisions	Within 3 ft of the bottom of the ground story or the top of any visible basement					See 135-12.1 for definition of shadow line.
23 Specific Permitted Major Building Materials	Finished wood, brick, stone, fiber cement board					See 135-4.2 for facade and roof materials.
24 Permitted Roof Types	Parapet, pitched roof, flat; One tower permitted per every 20 units					See 135-2.20 for roof types.

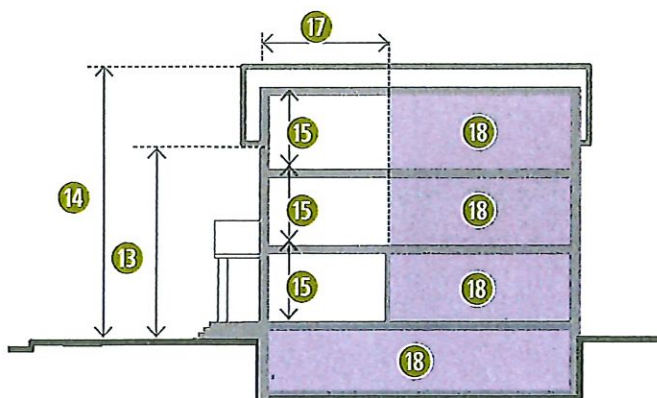


Figure 135-2.12-C. Row Height and Use Requirements



Figure 135-2.12-D. Row Building: Facade Requirements



# 135-2. BUILDING TYPES

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## Row Building Type

### E. Additional Regulations/Notes

1. Buildings and Units. For the purposes of the Row building, a building consists of a series of at least three units. When permitted, multiple buildings may be located on a lot with the minimum required space between them. However, each building must fulfill all requirements of the building type unless otherwise expressly stated in this ordinance.
2. Multiple Buildings. Where multiple buildings are permitted, each building must be located in the build-to zone, contributing to the front lot line coverage requirement, except one of every two units may front a courtyard.
  - a. Entrances to units on courtyard may be off the courtyard.
  - b. Facades on courtyard may be counted as satisfying street facade requirements.
3. Minimum Pedestrian Area. Along all streets where the area from the back of curb to the lot line is less than 12 feet, the build-to zone shall begin at 12 feet from the back of curb and extend into the site the depth defined.
4. Front Yard Coverage. Maximum impervious and semi-pervious area in any front yard is 25%.
5. At least 0.10 acre of open space, minimum 30 feet in any direction, and located within 1/8 mile of the building entrance must be available for use by each tenant. Existing publicly available space, such as parks, fulfills the requirement.
6. Setbacks and Build-to Zones. Setbacks and build-to zones may be modified with a Type 1 design alternative per section 135-9.2 of this chapter, provided the setback and build-to zone is consistent with the neighborhood context. The following may also apply:
  - a. The community development director may request different setbacks in newly developing or redeveloping areas.
  - b. Setbacks and build-to zones for specific streets in the Sherman Hill neighborhood are available from the city.
  - c. Setbacks and build-to zones for Grand Avenue are subject to block face averaging and approval of the community development director.
7. Front Yard Coverage. Maximum impervious and semi-pervious area in any front yard is 25%.
8. Minimum Lot Width. Minimum lot width applies to the building, whether the units are each on their own platted lot.
9. Garage Door Locations on Row Buildings. Garage doors on Row buildings shall not be visible from a primary street. Garage doors located off or facing non-primary streets shall be screened to the extent possible.



## 135-2. BUILDING TYPES

### House A Building Type

#### 135-2.13 House A Building Type

##### 2.13.1 DESCRIPTION AND INTENT

The House A building is the most flexible house type -- flexible in different districts for different reasons. This building type allows a wide range of heights, more roof types, and garages on the front facade.

In the N1 estate neighborhoods, the lots are wider and the setbacks are deeper. In these neighborhoods, the houses can range widely in style and design as the large front yards create the neighborhood character. Also, with wider lots, the houses tend to be wider, so front facade garage doors can be accommodated without dominating facade designs.

In other neighborhoods, the lots may be smaller, have shallower setbacks, but the character of the neighborhood is such that front-facing garages are common.

##### 2.13.2 ILLUSTRATIVE IMAGES

The images shown in [Figure 135-2.13-A](#) are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.



Examples of House A on large lots in N2 district.

Examples of House A on large lots in N1 district.

Figure 135-2.13-A. Example Illustrations of Existing House A Building Type



# 135-2. BUILDING TYPES

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## House A Building Type

### 2.13.3 HOUSE A REGULATIONS

	N1a, A	N1b	N2a	N2b	REFERENCES
<b>A. Building Siting.</b> Refer to <a href="#">Figure 135-2.13-B</a>					
① Multiple Principal Buildings	Not permitted	Not permitted	Not permitted	Not permitted	See <a href="#">Note 5</a> for minimum building size.
② Required Accessory Building Accessory Building Locations	Garage for single-unit houses, minimum 288 square feet. Rear or side yard.				See <a href="#">135-2.22.2</a> for accessory buildings. See <a href="#">Note 4</a> for accessory building requirement.
③ Minimum Front Setback (ft)	45, front setback averaging applies	30, front setback averaging applies	25, front setback averaging applies	25, front setback averaging applies	See <a href="#">135-3.4</a> for front setback averaging.
④ Minimum Street Side Setback (ft)	25	20	15	15	
⑤ Minimum Interior Side Setback (ft)	10, 25 total for both	10, 25 total for both	7, 15 total for both	7, 15 total for both	
⑥ Minimum Rear Setback (ft)	30	30	30	30	
⑦ Minimum Building Width (ft)	24	24	none	none	See <a href="#">135-3.2</a> for measurement. See <a href="#">Note 2</a> and <a href="#">Note 3</a> for 2- and 4-unit buildings, where permitted.
⑧ Minimum Lot Width (ft)	80	60	75	60	See <a href="#">Note 2</a> and <a href="#">Note 3</a> for 2- and 4-unit buildings, where permitted.
⑧ Minimum Lot Area (sq ft)	10,000	8,000	9,000	7,500	
⑨ Maximum Building Coverage	25%	30%	35%	35%	See <a href="#">135-3.6</a> for measurement.
⑨ Maximum Impervious Area	40%	50%	50%	50%	See <a href="#">Note 1</a> for maximum front yard coverage. See <a href="#">Note 5</a> for minimum building size.
⑨ Additional Semi-Pervious Area	15%	15%	15%	15%	
⑩ Attached Garage Entrance Location	Any facade, maximum 30% of front facade width	Any facade, maximum 30% of front facade width	Any facade, maximum 65% of front facade width; 3rd stall recessed 3 ft	Any facade, maximum 65% of front facade width; 3rd stall recessed 3 ft	See <a href="#">135-4.3.8</a> for additional garage door requirements on primary frontage facades.
⑪ Permitted Driveway Access	One paved driveway per lot; circular drop-off drive permitted with minimum lot width of 100 ft				See <a href="#">135-6.12</a> for additional driveway regulations.

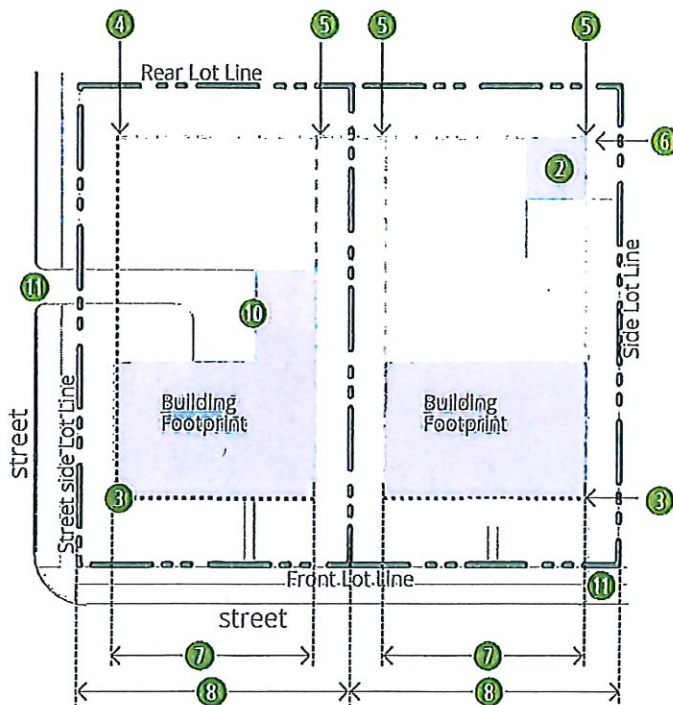


Figure 135-2.13-B, House A: Building Siting

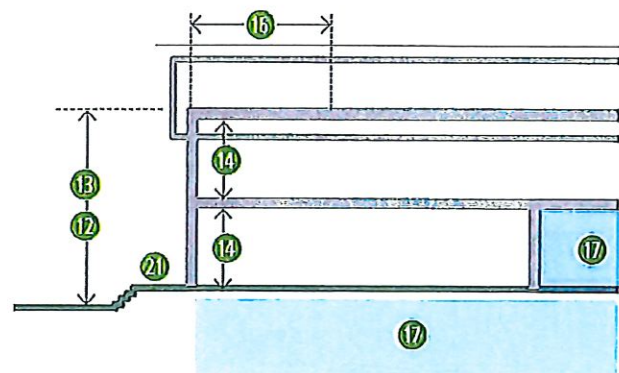


Figure 135-2.13-C, House A: Height & Uses Requirements



## 135-2. BUILDING TYPES

### House A Building Type

	N1a, A	N1b	N2a	N2b	REFERENCES
<b>B. Height.</b> Refer to Figure 135-2.13-C					
12 Minimum Overall Height	1 story plus full basement required	1 story plus full basement required	1 story plus full basement required	1 story	See <a href="#">135-3.7</a> for measurement information. Story heights are measured floor to floor. See <a href="#">Note 2</a> and <a href="#">Note 3</a> for minimum heights of multi-unit houses.
13 Maximum Overall Height	3 stories	3 stories	2.5 stories	2.5 stories	
14 All Stories; (Measured floor-to-floor) Minimum Height (ft) Maximum Height (ft)	9 14	9 14	9 12	9 12	
<b>C. Uses.</b> Refer to Figure 135-2.13-C					
15 All Stories	Any permitted use; N1a-2 allows up to 2 units	Any permitted use; N1b-2 allows up to 2 units, N1b-4 allows up to 4 units	Any permitted use; N2-2 allows up to 2 units; N2-4 allows up to 4 units		See <a href="#">chapter 134, article 3</a> for permitted uses per zoning district and definition of uses. See <a href="#">Note 2</a> and <a href="#">Note 3</a> for 2- and 4-unit configuration requirements.
16 Required Occupied Space	Minimum 20-foot depth on all full height stories on at least 60% of front facade		Minimum 20-foot depth on all full floors on at least 50% of front facade		See <a href="#">135-12.1</a> for definition of occupied space.
17 Parking within Principal Building	Maximum 30% of any story		Maximum 50% of any story		Refer to occupied space requirement above. Refer to <a href="#">135-4.3.8</a> for design of garage doors.
<b>D. Street Facade &amp; Roof Requirements.</b> Refer to Figure 135-2.13-D					
18 Minimum Transparency per Each Story & any Half Story	12%	12%; blank wall limitations apply to front street facades	15%; blank wall limitations apply to street facades except garage doors		See <a href="#">135-3.8</a> for measurement information and definition of blank wall limitations.
19 Principal Entrance Number	Minimum one per building				See <a href="#">Note 2</a> and <a href="#">Note 3</a> for 2- and 4-unit building entrance requirements.
20 Principal Entrance Location	Front street facade				
21 Required Entrance Configuration	Stoop or porch				See <a href="#">135-12.1</a> for definition of stoop and porch.
22 Permitted Roof Types	Parapet, low pitched, pitched, flat; Tower permitted	Parapet, pitched, flat; Tower permitted	Parapet, pitched, flat; Tower permitted		See <a href="#">135-2.20</a> for roof types.

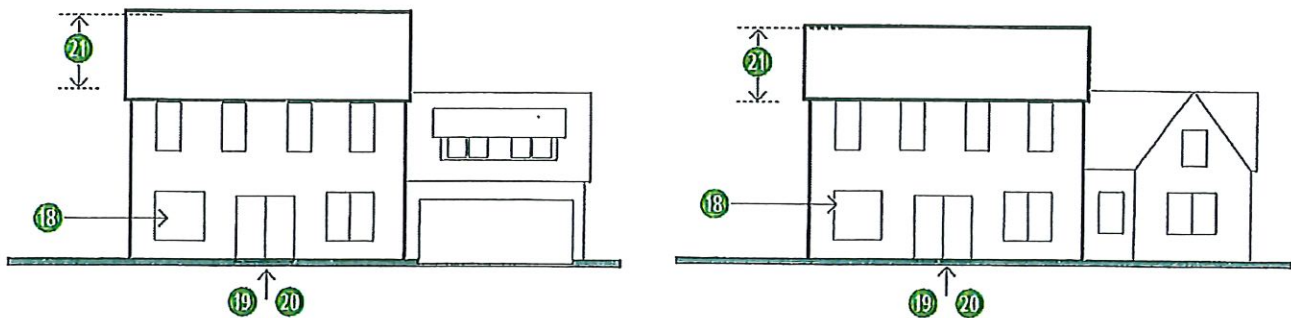


Figure 135-2.13-D, House A: Facade Requirements



## 135-2. BUILDING TYPES

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### House A Building Type

#### E. Additional Regulations/Notes

1. Front Yard Coverage. Maximum impervious plus semi-pervious area in any front yard is 25% total.
2. 2- Unit House A. Where designated on the zoning map with a "-2" extension to the district name, the House A building may be configured with two adjacent houses as follows:
  - a. The two units shall be a side-by-side configuration with a common wall between them and perpendicular to the front lot line.
  - b. The minimum lot width in N1a is 120 feet, in N1b is 100 feet, and in N2a is 100 feet and in N2b is 80 feet.
  - c. For fee simple configurations, where each unit is located on its own lot, the building (comprised of all the connected units) shall meet the building type requirements except for inside side yard setback for the lot line associated with a common wall.
  - d. Each unit shall meet all requirements of the building type.
3. 4-Unit House A. Where designated on the zoning map with a "-4" extension to the district name, the House A building may be configured with up to four internal units as follows:
  - a. The four units shall be incorporated into a single-house design in N1a and N1b districts. The four units shall be incorporated into a single-house design or side-by-side design in N2a and N2b districts.
  - b. The minimum lot width in N2a is 100 feet and in N2b is 80 feet.
  - c. The minimum building width is 60 feet.
  - d. For fee simple configurations, where each unit is located on its own lot, the building (comprised of all the connected units) shall meet the building type requirements except for minimum interior setbacks for the lot lines associated with common walls.
  - e. Up to two exterior front doors are permitted. One front door is required on the front facade and a second entrance may be located on the side facade.
  - f. Each unit shall be entered directly from a front door or from a common interior hallway accessed from a front door.
  - g. Additional rear or side doors are permitted for each unit.
  - h. All other requirements of the building type shall be met.
4. Garage Requirement. A minimum 288 square feet garage is required for each House A building and each unit of a 2-unit House A. A Type 2 design alternative is required for reduction in size of garage size or waiver of garage requirement.
5. Basement Requirement. A full basement shall be required for each House A building and each unit of a 2-unit House A building for property located in an A, N1a, N1b or N2a district. The minimum house size required by section 135-2.13.3.E.6 shall exclude the area of the full basement. A Type 2 design alternative is required for reduction in size of basement or waiver of full depth basement requirement; however, a Type 1 design alternative is available in the event of topography, soil, groundwater, sewer connection, or drainage constraints as demonstrated by the applicant and confirmed by the city engineer.
6. Minimum House Size.
  - a. In zoning districts N1a, A, N1b and N2a, single-unit and two-unit House Type A buildings constructed after the effective date of this chapter as defined in section 135-1.2 of this chapter shall meet or exceed the following minimum above grade finished floor areas. Design alternatives are available pursuant to section 135-9.2 of this chapter, with consideration thereof subject to the variety of House building types, or the variety of minimum square footages and design features in the same House building type, to be provided for any development other than infill single-unit or two-unit House Type A buildings on lots surrounded by existing buildings:
    - i. Single-story unit shall be a minimum of 1,400 square feet.
    - ii. One-and-a-half story unit shall be a minimum of 1,600 square feet.
    - iii. Two-story unit shall be a minimum of 1,800 square feet.
  - b. In zoning district N2b, single-unit and two-unit House Type A buildings constructed after the effective date of this chapter as defined in section 135-1.2 of this chapter shall meet or exceed the following minimum above grade finished floor areas. Design



**135-2. BUILDING TYPES**

## House A Building Type

alternatives are available pursuant to section 135-9.2 of this chapter, with consideration thereof subject to the variety of House building types, or the variety of minimum square footages and design features in the same House building type, to be provided for any development other than infill single-unit or two-unit House Type A buildings on lots surrounded by existing buildings:

- i. Single-story unit with a full basement shall be a minimum of 1,300 square feet.
- ii. Single-story unit without a full basement shall be a minimum of 1,400 square feet.
- iii. One-and-a-half story unit with a full basement shall be a minimum of 1,400 square feet.
- iv. One-and-a-half story unit without a full basement shall be a minimum of 1,500 square feet.
- v. Two-story unit with a full basement shall be a minimum of 1,500 square feet.
- vi. Two-story unit without a full basement shall be a minimum of 1,600 square feet.

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## 135-2. BUILDING TYPES

House A Building Type

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## 135-2. BUILDING TYPES

### House B Building Type

#### 135-2.14 House B Building Type

##### 2.14.1 DESCRIPTION AND INTENT

The House B building is a low-profile building type, typically oriented on a lot parallel to the street. The house is usually wider than it is deep. The roof of this house type has a low pitch, usually hipped or gabled with the ridge line parallel to the street.

This house type can take several forms: a single-story ranch-style house, a two-story house, or a split-level house. The key defining aspects are a lower overall height, lower floor-to-floor heights, and the roof type. This house type also may have a garage located on the front facade.

##### 2.14.2 ILLUSTRATIVE IMAGES

The images shown in [Figure 135-2.14-A](#) are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.



Figure 135-2.14-A. Example Illustrations of Existing House B Building Type:



# 135-2. BUILDING TYPES

## House B Building Type

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### 2.14.3 HOUSE B REGULATIONS

#### N3a, N3b

#### REFERENCES

#### A. Building Siting. Refer to Figure 135-2.14-B

1 Multiple Principal Buildings	Not permitted	
2 Required Accessory Building Accessory Building Locations	Garage for single-unit houses, minimum 288 square feet. Rear or side yard.	See <a href="#">135-2.22.2</a> for accessory buildings. See <a href="#">Note 3</a> for accessory building requirement.
3 Minimum Front Setback (ft)	25, front setback averaging applies	See <a href="#">135-3.4</a> for front setback averaging.
4 Minimum Street Side Setback (ft)	15	
5 Minimum Interior Side Setback (ft)	7, 15 total for both	
6 Minimum Rear Setback (ft)	40	
7 Minimum Building Width (ft)	35	See <a href="#">135-3.2</a> for measurement. See <a href="#">Note 2</a> for 2-unit buildings, where permitted.
8 Minimum Lot Width (ft) Minimum Lot Area (sq ft)	60 7,500	See <a href="#">Note 2</a> for 2-unit buildings, where permitted.
9 Maximum Building Coverage Maximum Impervious Area Additional Semi-Pervious Area	35% 50% 15% [see note 2]	See <a href="#">135-3.6</a> for measurement. See <a href="#">Note 1</a> for maximum front yard coverage. See <a href="#">Note 5</a> for minimum building size.
10 Attached Garage Entrance Location	Front facade: garage door maximum 30% of front facade width; Side facade on street side only; rear facade	See <a href="#">135-4.3.8</a> for additional garage door requirements on primary frontage facades.
11 Permitted Driveway Access	One paved driveway per lot	See <a href="#">135-6.12</a> for additional driveway regulations.

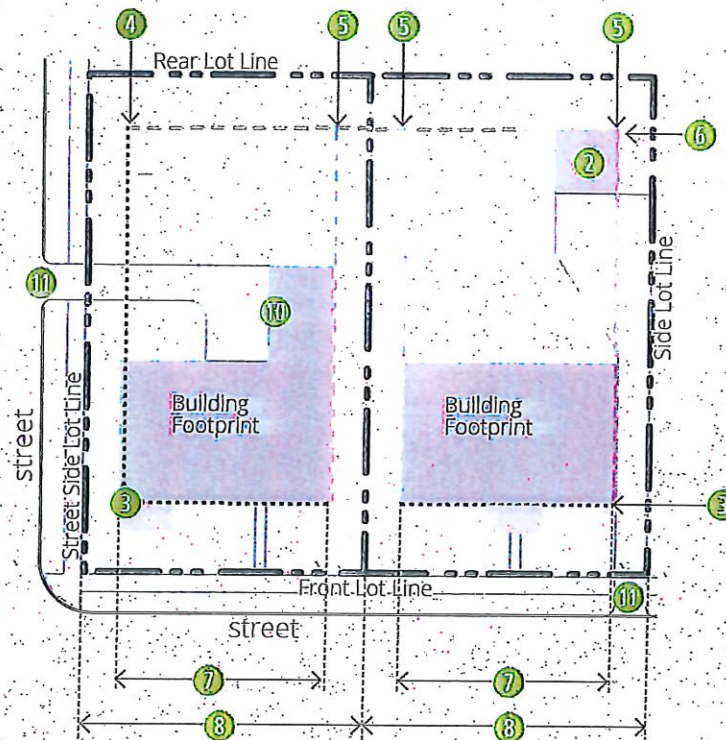


Figure 135-2.14-B. House B Building Siting

## 135-2. BUILDING TYPES

### House B Building Type

#### N3a, N3b

#### REFERENCES

#### B. Height. Refer to Figure 135-2.14-C

- |    |  |           |
|----|--|-----------|
| 12 | Minimum Overall Height                 | 1 story   |
| 13 | Maximum Overall Height                 | 2 stories |
| 14 | All Stories: (Measured floor-to-floor) |           |
|    | Minimum Height (ft)                    | 7         |
|    | Maximum Height (ft)                    | 9         |

See [135-3.7](#) for measurement information. Story heights are measured floor to floor.

See [Note 2](#) for minimum heights of multi-unit houses.

#### C. Uses. Refer to Figure 135-2.14-C

- |    |                                   |  |
|----|-----------------------------------|--|
| 15 | All Stories                       | Any permitted use;<br>N3a-2 and N3b-2 allows up to 2 units                       |
| 16 | Required Occupied Space           | Minimum 20-foot depth on all full height stories on at least 60% of front facade |
| 17 | Parking within Principal Building | Maximum 50% of basement; Maximum 30% of first floor                              |

See [chapter 134, article 3](#) for permitted uses per zoning district and definition of uses.

See [Note 2](#) for 2-unit configuration requirements.

See [135-12.1](#) for definition of occupied space.

Refer to occupied space requirement above. Refer to [135-4.3.8](#) for design of garage doors.

#### D. Street Facade & Roof Requirements. Refer to Figure 135-2.14-D

- |    |   |  |
|----|---|--|
| 18 | Minimum Transparency per each Full Story and any Visible Basement | 12%  |
| 19 | Principal Entrance Number   | Minimum one per building;                          |
|    | Principal Entrance Location                                       | Front street facade                                |
| 20 | Required Entrance Configuration                                   | Stoop or porch                                     |
| 21 | Permitted Roof Types  | Low pitched  |
| 22 | Street Facade Eave Height (ft)                                    | 1 story: maximum 8.5<br>1.5 to 2 story: maximum 16 |

See [135-3.8](#) for measurement information and definition of blank wall limitations.

See [135-4.3.2](#) for window design.

See [Note 2](#) and [Note 3](#) for 2- and 4-unit building entrance requirements.

See [135-12.1](#) for definition of stoop and porch.

See [135-2.20](#) for roof types.

Measured from top of foundation to below eave.

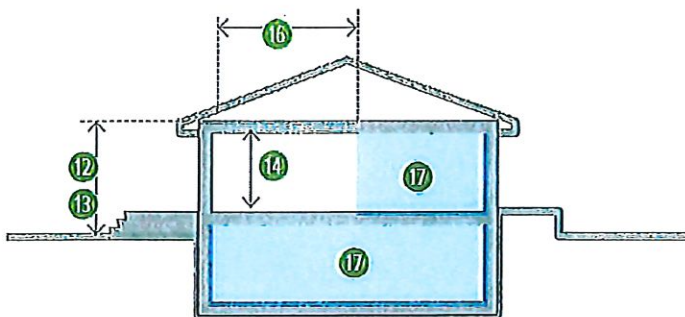


Figure 135-2.14-C. House B: Height and Uses Requirements

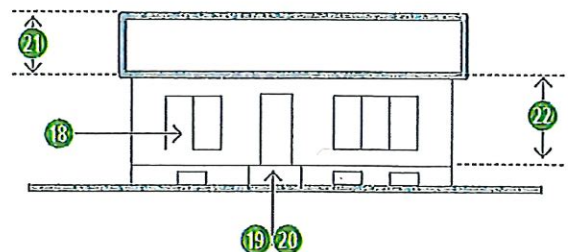


Figure 135-2.14-D. House B: Facade Requirements



## 135-2. BUILDING TYPES

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### House B Building Type

#### E. Additional Regulations/Notes

1. Maximum impervious plus semi-pervious area in any front yard is 25% total.
2. 2-Unit House B. Where designated on the zoning map with a "-2" extension to the district name, the House B building may be configured with two adjacent houses as follows:
  - a. The two units shall be a side-by-side configuration with a common wall between them, perpendicular to the front lot line.
  - b. Minimum building width is 45 feet and maximum building width is 60 feet.
  - c. The minimum lot width in N3a and N3b is 85 feet.
  - d. One garage door no wider than 16 feet or two garage doors each no wider than nine feet is permitted on the front facade.
  - e. Minimum height is two stories.
  - f. Each unit shall meet all requirements of the building type.
  - g. For fee simple configurations, where each unit is located on its own lot, the building (comprised of all the connected units) shall meet the building type requirements except for inside side yard setback for the lot line associated with a common wall.
3. Garage Requirement. A minimum 288 square feet garage is required for each House B building and each unit of a 2-unit House B. A Type 1 design alternative for reduction in size of garage or waiver of garage requirement may be approved subject to provision, in lieu of the required garage, of a minimum 120 square foot storage shed constructed with a foundation or concrete slab and with building materials matching the principal household dwelling on the property, and subject to determination by the community development director that the character of the surrounding neighborhood allows for a reduction in size or waiver of the required garage based on the following:
  - a. Whether at least 50% of the developed lots within 250 feet of the subject property are designed and constructed consistently with the requested design alternative(s); and
  - b. Whether the directly adjoining developed lots are designed and constructed consistently with the requested design alternative(s).

For purposes of this subsection, if the lots that exist within 250 feet of the subject property are undeveloped, then the neighborhood character determination by the community development director will be based upon the assumption that such lots, as if developed, contain the required minimum 288 square feet garages for each House B building, and each unit of a 2-unit House B, thereon.

4. RESERVED.
5. Minimum House Size.
  - a. Single-unit and two-unit House Type B buildings constructed after the effective date of this chapter as defined in section [135-1.2](#) of this chapter shall meet or exceed the following minimum finished floor areas. Design alternatives are available pursuant to section [135-9.2 of this chapter](#), with consideration thereof subject to the variety of House building types, or the variety of minimum square footages and design features in the same House building type, to be provided for any development other than infill single-unit or two-unit House Type B lots surrounded by existing buildings:
    - i. Single-story unit with a full basement shall be a minimum of 1,100 square feet.
    - ii. Single-story unit without a full basement shall be a minimum of 1,200 square feet.
    - iii. One-and-a-half story unit with a full basement shall be a minimum of 1,250 square feet.
    - iv. One-and-a-half story unit without a full basement shall be a minimum of 1,300 square feet.
    - v. Two-story unit with a full basement shall be a minimum of 1,300 square feet.
    - vi. Two-story unit without a full basement shall be a minimum of 1,400 square feet.
  - b. For House B building types, 50% of the total finished floor area of a basement may be used to calculate minimum house size square footages.



## 135-2. BUILDING TYPES

### House C Building Type

#### 135-2.15 House C Building Type

##### 2.15.1 DESCRIPTION AND INTENT

House C is a small-scale building type, typically 1.5 stories with a steeply pitched, gable roof. Floor-to-floor heights of this building are on par with House B. Garages are typically located in the rear of the lot.

Roofs are a dominant feature of this house type. When the ridge runs parallel to the street, dormers are located along the roof. Gable ends often face the street for all or most of the width of the building.

##### 2.15.2 ILLUSTRATIVE IMAGES

The images shown in [Figure 135-2.15-A](#) are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.

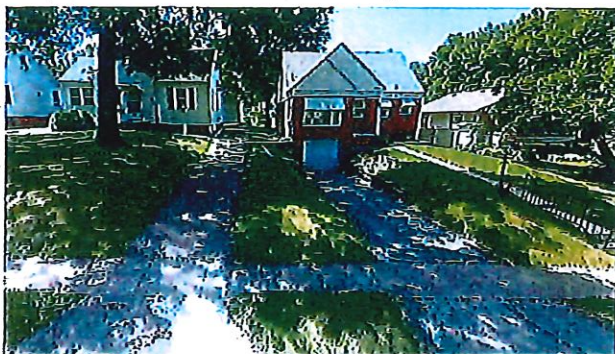


Figure 135-2.15-A. Example Illustrations of House C Building Type



# 135-2. BUILDING TYPES

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## House C Building Type

### 2.15.3 HOUSE C REGULATIONS

	N3b, N3c	N4	NX1	REFERENCES
<b>A. Building Siting.</b> Refer to Figure 135-2.15-B.				
① Multiple Principal Buildings	Not permitted	Not permitted	Permitted	See <a href="#">Note 1</a> for House C Court
② Required Accessory Building Accessory Building Locations	Garage for single-unit houses, minimum 288 square feet. Rear or side yard.			See <a href="#">135-2.22.2</a> for accessory buildings. See <a href="#">Note 4</a> for garage requirement.
③ Minimum Front Setback (ft)	25, front setback averaging applies	35, front setback averaging applies	25, front setback averaging applies	See <a href="#">135-3.4</a> for front setback averaging.
④ Minimum Street Side Setback (ft)	20	20	15	
⑤ Minimum Interior Side Setback (ft)	7, 15 total for both	7, 15 total for both	7, 15 total for both	
⑥ Minimum Rear Setback (ft)	40	40	30	
⑦ Minimum Building Width (ft)	24	24	20	See <a href="#">135-3.2</a> for measurement. See <a href="#">Note 3</a> for 2-unit buildings, where permitted.
⑧ Minimum Lot Width (ft) Minimum Lot Area (sq ft)	50 6,000	50 6,000	40 4,800	See <a href="#">Note 1</a> for maximum front yard coverage. See <a href="#">Note 5</a> for minimum building size.
⑨ Maximum Building Coverage Maximum Impervious Area Additional Semi-Pervious Area	35% 55% 15% [see note 2]	35% 55% 15% [see note 2]	35% 55% 15% [see note 2]	See <a href="#">135-3.6</a> for measurement.
⑩ Attached Garage Entrance Location	Rear or side facade; Front facade on sloped sites permitted with Type 1 design alternative per <a href="#">135-9.2 of this chapter</a>			See <a href="#">135-4.3.3</a> for additional garage door requirements on primary frontage facades.
⑪ Permitted Driveway Access	Improved alley; If no improved alley exists, one driveway per lot; Shared driveways encouraged			See <a href="#">135-6.12</a> for additional driveway regulations.

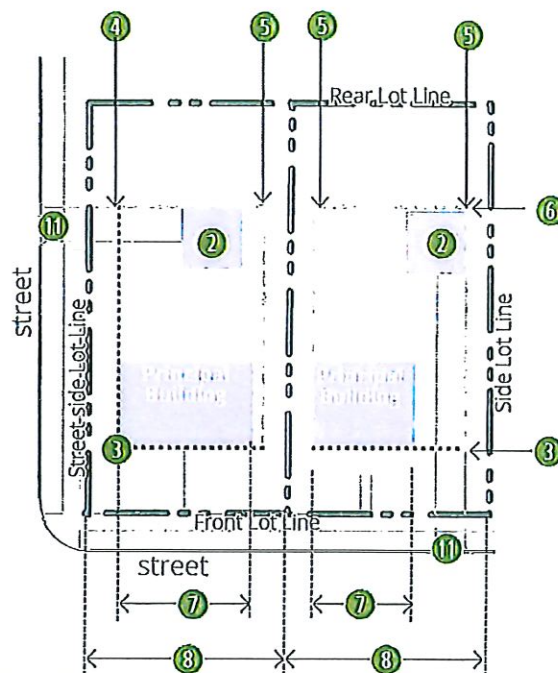


Figure 135-2.15-B, House C Building: Building Siting

## 135-2. BUILDING TYPES

### House C Building Type

	N3b, N3c	N4	NX1	REFERENCES
<b>B. Height.</b> Refer to Figure 135-2.15-C				
12 Minimum Overall Height	1 story	1.5 story	1 story	See <a href="#">135-3.7</a> for measurement information. Story heights are measured floor to floor. See <a href="#">Note 3</a> for minimum heights of multi-unit houses.
13 Maximum Overall Height	2 stories	2 stories	2 stories	
14 All Full Stories; (Measured floor-to-floor) Minimum Height (ft) Maximum Height (ft)	8.5 10	8.5 10	8.5 10	
<b>C. Uses.</b> Refer to Figure 135-2.15-C.				
15 All Stories	Any permitted use; N3b-2 and N3c-2 districts allow up to 2 units			See <a href="#">chapter 134, article 3</a> for permitted uses per zoning district and definition of uses. See <a href="#">Note 3</a> for 2-unit configuration requirements.
16 Required Occupied Space	Minimum 20-ft depth all full height stories on front facade			See <a href="#">135-12.1</a> for definition of occupied space.
17 Parking within Principal Building	Fully in any basement or in the rear of the ground story			Refer to occupied space requirement above.
<b>D. Street Facade &amp; Roof Requirements.</b> Refer to Figure 135-2.15-D				
18 Minimum Transparency per each Full Story and any Visible Basement	12%; blank wall limitations apply to front facade	18%; blank wall limitations apply to front facade	15%; blank wall limitations apply to street facades	See <a href="#">135-3.8</a> for measurement information and definition of blank wall limitations.
19 Principal Entrance Number Principal Entrance Location	Minimum 1 per building; Front street facade			See <a href="#">Note 2</a> and <a href="#">Note 3</a> for 2- and 4-unit building entrance requirements.
20 Required Entrance Configuration	Stoop or porch			See <a href="#">135-12.1</a> for definition of stoop and porch.
21 Specific Permitted Major Building Materials	Finished wood, brick, stone, fiber cement board, hard coat stucco			See <a href="#">135-4.2</a> for facade and roof materials.
22 Permitted Roof Types	Pitched gable roof for 1 and 1.5 stories, preferably 12:12; Low pitched roof for 2 stories; Other roof types permitted with a Type 1 design alternative per <a href="#">135-9.2 of this chapter</a>			See <a href="#">135-2.20</a> for roof types.
23 Dormers and Gables	On 1 and 1.5 story buildings, where the ridge line is parallel to the street, at least 1 dormer or gable end is required for every 24 feet of continuous ridgeline.			See <a href="#">135-12.1</a> for definition of dormer.
24 Street Facade Horizontal Eave Height (ft)	1 story: maximum 8.5 1.5 to 2 story: maximum 18			Measured from top of foundation to below eave.

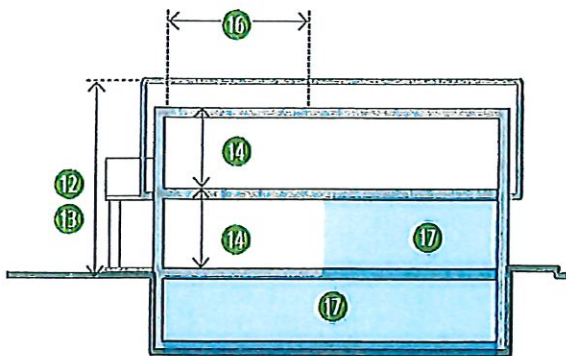


Figure 135-2.15-C. House C Building: Height and Use Requirements

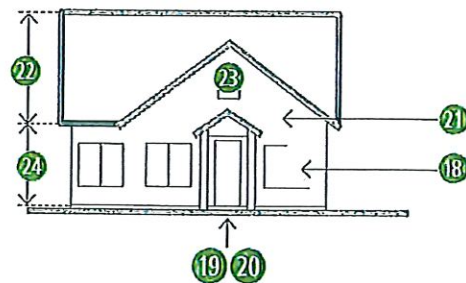


Figure 135-2.15-D. House C Building: Facade Requirements



## 135-2. BUILDING TYPES

### House C Building Type

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#### E. Additional Regulations/Notes

1. Cottage Court. When permitted by district and multiple houses are planned for one development site, for every House C fronting the street, up to three units may front a courtyard or adjacent park or open space and the following applies:
  - a. The courtyard shall be defined on three sides by units and open to the street. Refer to section [135-12.1.5 of this chapter](#) for definition of courtyard.
  - b. Refer to [Figure 135-2.15-E](#) for one example of multiple House C building types on a development site.
  - c. Houses on courtyard shall align with the House C buildings on the street.
  - d. Side and rear setbacks shall apply between buildings for each building. For example, with a five-foot side setback, 10 feet is required between buildings.
  - e. Street facade requirements shall apply to courtyard facades.
2. Front Yard Coverage. Maximum impervious plus semi-pervious area in any front yard is 25% total.
3. 2-Unit House C. In NX1 or where designated on the zoning map with a -2 extension to the district name, the House C building may be configured with two adjacent houses as follows:
  - a. The two units shall be in a side-by-side configuration with a common wall between them, oriented generally parallel or perpendicular to the street.
  - b. The minimum lot width in N3b or N3c is 65 feet, and in N4 is 80 feet.
  - c. For fee simple configurations, where each unit is located on its own lot, the building (comprised of all the connected units) shall meet the building type requirements except for inside side yard setback for the lot line associated with a common wall.
  - d. Each unit shall meet all other requirements of the building type.
4. Garage Requirement. A minimum 288 square feet garage is required for each House C building and each unit of a 2-unit House C. A Type 1 design alternative for reduction in size of garage or waiver of garage requirement may be approved subject to provision, in lieu of the



Figure 135-2.15-E, House C Court: Multiple Principal House C Buildings

required garage, of a minimum 120 square foot storage shed constructed with a foundation or concrete slab and with building materials matching the principal household dwelling on the property, and subject to determination by the community development director that the character of the surrounding neighborhood allows for a reduction in size or waiver of the required garage based on the following:

- a. Whether at least 50% of the developed lots within 250 feet of the subject property are designed and constructed consistently with the requested design alternative(s); and
- b. Whether the directly adjoining developed lots are designed and constructed

consistently with the requested design alternative(s).

For purposes of this subsection, if the lots that exist within 250 feet of the subject property are undeveloped, then the neighborhood character determination by the community development director will be based upon the assumption that such lots, as if developed, contain the required minimum 288 square feet garages for each House C building, and each unit of a 2-unit House C, thereon.

5. RESERVED.

6. Minimum House Size.

- a. Single-unit and two-unit House Type C buildings constructed after the effective date of this chapter as defined in section [135-1.2](#) of this chapter shall meet or exceed the following minimum finished floor areas. Design alternatives are available pursuant to section [135-9.2 of this chapter](#), with consideration thereof subject to the variety of House building types, or the variety of minimum square footages and design features in the same House building type, to be provided for any development other than infill single-unit or two-unit House Type C buildings on lots surrounded by existing buildings:

- i. Single-story unit with a full basement shall be a minimum of 1,100 square feet.
- ii. Single-story unit without a full basement shall be a minimum of 1,200 square feet.
- iii. One-and-a-half story unit with a full basement shall be a minimum of 1,250 square feet.
- iv. One-and-a-half story unit without a full basement shall be a minimum of 1,300 square feet.
- v. Two-story unit with a full basement shall be a minimum of 1,300 square feet.
- vi. Two-story unit without a full basement shall be a minimum of 1,400 square feet.

- b. For House C building types, 50% of the total finished floor area of a basement may be used to calculate minimum house size square footages.

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## 135-2. BUILDING TYPES

House C Building Type

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## 135-2. BUILDING TYPES

### House D Building Type

#### 135-2.16 House D Building Type

##### 2.16.1 DESCRIPTION AND INTENT

House D incorporates characteristics typical of bungalows and two story Victorian or Arts and Crafts houses. These houses are usually fairly square in footprint, though many extend deeper into the lot than their width. The roof of this house type varies, but includes significant eave depth and thickness.

This house type can be single story, though it typically incorporates attic dormers or windows in the gable on the street facade. Floor-to-floor heights of this house type are taller than House B and C.

##### 2.16.2 ILLUSTRATIVE IMAGES

The images shown in [Figure 135-2.16-A](#) of this article are intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.



Figure 135-2.16-A. Example Illustrations of House D Building Type



# 135-2. BUILDING TYPES

## House D Building Type

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### 2.16.3 HOUSE D REGULATIONS

	N5	NX1	NX2, NX2a	REFERENCES
<b>A. Building Siting.</b> Refer to Figure 135-2.16-B				
1 Multiple Principal Buildings	Not permitted	Permitted	Permitted	See <a href="#">Note 1</a> for House D Court.
2 Required Accessory Building Accessory Building Locations	Garage for single-unit houses, minimum 288 square feet. Rear or side yard.			See <a href="#">135-2.22.2</a> for accessory buildings. See <a href="#">Note 5</a> for garage requirement.
3 Minimum Front Setback	25, front setback averaging applies	25, front setback averaging applies	25, front setback averaging applies; Build-to zone for Sherman Hill required	See <a href="#">135-3.4</a> for front setback averaging. See <a href="#">135-2.19</a> for Sherman Hill Build-to Zones.
4 Minimum Street Side Setback (ft)	18, front setback averaging applies	15	15	
5 Minimum Interior Side Setback (ft)	7, 15 total for both	7, 15 total for both	7, 15 total for both	See <a href="#">Note 3</a> for 0 side setback permitted in NX1, NX2, and NX2a.
6 Minimum Rear Setback (ft)	30	30	25	
7 Minimum Building Width (ft) Maximum Building Width (ft)	26 for single unit; 60 for single unit	24 for single unit; 60 for single unit	24 for single unit; 60 for single unit	See <a href="#">135-3.2</a> for measurement. See <a href="#">Note 4</a> for multiple-unit buildings, where permitted.
8 Minimum Lot Width (ft) Minimum Lot Area (ft)	50 for single unit; 6,750	50 for single unit; 4,800	50 for single unit; 4,800	See <a href="#">Note 4</a> for multiple-unit buildings, where permitted.
9 Maximum Building Coverage Maximum Impervious Area Additional Semi-Pervious Area	30% 50% 15%	30% 50% 15%	45% 65% 20%	See <a href="#">135-3.6</a> for measurement. See <a href="#">Note 1</a> for maximum front yard coverage. See <a href="#">Note 7</a> for minimum building size.
10 Attached Garage Entrance Location	Rear or side facade			See <a href="#">135-4.3.8</a> for additional garage door requirements on primary frontage facades.
11 Permitted Driveway Access	Improved alley; if no improved alley exists, one driveway per lot; shared driveways encouraged.			See <a href="#">135-6.12</a> for additional driveway regulations.

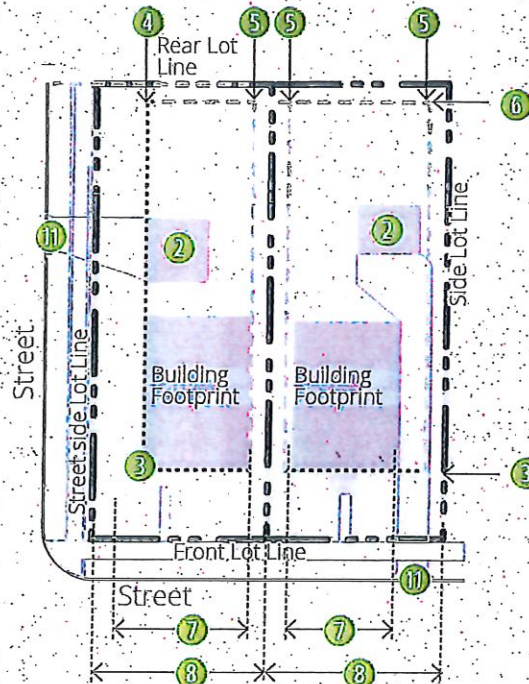


Figure 135-2.16-B. House D Building: Siting

# 135-2. BUILDING TYPES

## House D Building Type

	N5	NX1	NX2, NX2a	REFERENCES
<b>B. Height.</b> Refer to Figure 135-2.16-C				
12 Minimum Overall Height	1.5 story	1.5 story	2 story	See <a href="#">135-3.7</a> for measurement information. Story heights are measured floor to floor. See <a href="#">Note 4</a> for multiple-unit buildings, where permitted.
13 Maximum Overall Height	2.5 stories	2.5 stories	2.5 stories	
14 All Full Stories: (Measured floor-to-floor) Minimum Height (ft) Maximum Height (ft)	9 12	9 12	9 12	
<b>C. Uses.</b> Refer to Figure 135-2.16-C.				
15 All Stories	Any permitted use; N5-2 district allows up to 2 units; N5-4 district allows up to 4 units	Any permitted use except multiple-household is limited to no more than 4 units	Any permitted use except multiple-household is limited to no more than 6 units	See <a href="#">chapter 134, article 3</a> for permitted uses per zoning district and definition of uses. See <a href="#">Note 4</a> for multiple-unit buildings, where permitted.
16 Required Occupied Space	Minimum 20-ft depth on all full floors on front facade			See <a href="#">135-12.1</a> for definition of occupied space.
17 Parking within Principal Building	Fully in the basement or in the rear of the ground story			Refer to occupied space requirement above.
<b>D. Street Facade &amp; Roof Requirements.</b> Refer to Figure 135-2.16-D				
18 Minimum Transparency per each Full Story and any Visible Basement	15%; blank wall limitations apply to front facade	18%; blank wall limitations apply to front facade	18%; blank wall limitations apply to front and street side facade	See <a href="#">135-3.8</a> for measurement information and definition of blank wall limitations.
19 Principal Entrance Number Principal Entrance Location	Minimum one per building Front street facade			See <a href="#">Note 4</a> for multiple-unit buildings, where permitted.
20 Required Entrance Configuration	Stoop, enclosed porch, or porch	Porch	Porch	See <a href="#">135-12.1</a> for definition of stoop and porch.
21 Specific Permitted Major Building Materials	Finished wood, brick, stone, fiber cement board, hard coat stucco			See <a href="#">135-4.2</a> for facade and roof materials.
22 Permitted Roof Types	Pitched gable or hipped roof; Low pitched on 2 story buildings; Tower permitted			See <a href="#">135-2.20</a> for roof types.
23 Minimum Eave Depth (in)	14			
24 Dormers and Gables	On 1 and 1.5 story buildings, where the ridge line is parallel to the street, at least 1 dormer or gable end is required for every 24 feet of continuous ridgeline.			See <a href="#">135-12.1</a> for definition of dormer.

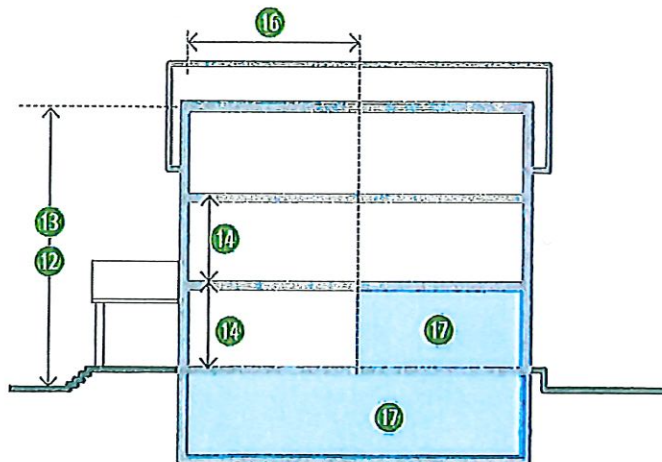


Figure 135-2.16-C. House D Building: Height and Use Requirements

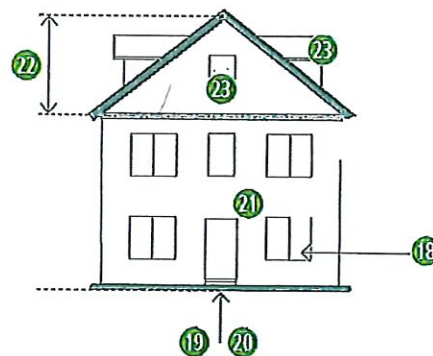


Figure 135-2.16-D. House D Building: Facade Requirements



## 135-2. BUILDING TYPES

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### House D Building Type

#### E. Additional Regulations/Notes

1. House D Court. When permitted by district and multiple houses are planned for one development site, for every House D fronting the street, up to three units may front a courtyard or adjacent park or open space and the following applies:
  - a. The courtyard must be lined by units on three sides and be open to the street on one side. Refer to [Figure 135-2.16-F](#) of this article for House D Court.
  - b. Houses on the courtyard must align with House D buildings on the street.
  - c. Side and rear setbacks apply between buildings for each building. For example, with a five-foot minimum side setbacks, at least 10 feet is required between buildings.
  - d. Street facade requirements apply to courtyard facades.
2. Front Yard Coverage. Maximum Impervious plus semi-pervious area in any front yard is 25% total.
3. In NX1, NX2, and NX2a, a zero-foot side yard setback is permitted on one side of the lot, allowing for no more than two House D buildings side-by-side, each unit on their own lot. All other requirements must be met.
4. Multiple-Unit House D. In NX1, in NX2, in NX2a, and where designated on the zoning map with a "-2" or "-4" extension to the district name, the House D building may be configured with multiple units as follows:
  - a. Multiple units are allowed only in new construction built for multiple units or existing buildings originally constructed for the number of units.
  - b. The "-2" extension to the district name permits up to two units and the "-4" extension to the district permits up to four units within the House D principal building.
  - c. In NX1, up to six units may be incorporated into the House D principal building where located on a corner parcel. Up to two of those six units may be incorporated into an accessory outbuilding pursuant to section [135-2.22.2.C of this chapter](#).
  - d. In NX2 and NX2a, up to six units may be incorporated into the House D principal building. Up to two of those six units may be incorporated into an accessory outbuilding pursuant to section [135-2.22.2.C of this chapter](#).
  - e. The minimum lot width for two, three, and four units in N5, NX1, NX2, and NX2a is 50 feet for two stacked units, 70 feet for side-by-side units, and 70 feet for up to four units.
  - f. The minimum lot width for up to six units in NX1, NX2, and NX2a is 80 feet.
  - g. In N5, NX2, and NX2a, maximum building width for multiple units is 80 feet.
  - h. Minimum height is two stories.
  - i. Each unit shall be entered directly from an exterior door located on the front or side facade or from a common interior hallway accessed from an exterior door located on the front or side facade. No unit shall enter only from the rear, unless located in an accessory outbuilding, as permitted.

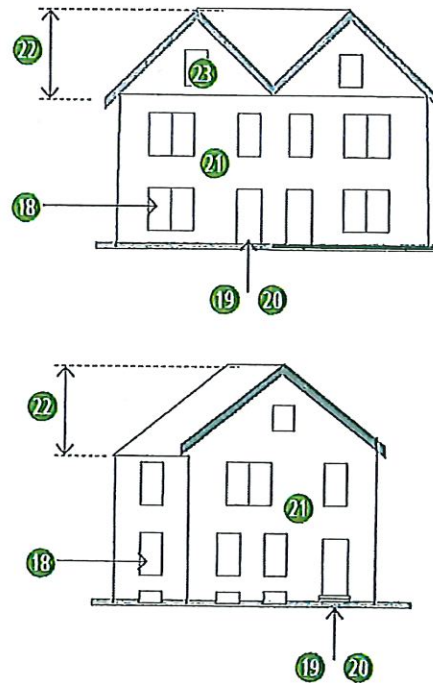


Figure 135-2.16-E. House D Building: Multi-Unit Elevation Examples



## 135-2. BUILDING TYPES

### House D Building Type

- j. Exterior stairs on not permitted on any street facade or within the front yard.
  - k. All other requirements of the building type shall be met.
  - l. For fee simple configurations, where each unit is located on its own lot, the building (comprised of all the connected units) shall meet the building type requirements except for minimum interior setbacks for the lot line associated with a common wall.
5. **Garage Requirement.** A minimum 288 square feet garage is required for each House D building and each unit of a 2-unit House D. A Type 1 design alternative for reduction in size of garage or waiver of garage requirement may be approved subject to provision, in lieu of the required garage, of a minimum 120 square foot storage shed constructed with a foundation or concrete slab and with building materials matching the principal household dwelling on the property, and subject to determination by the community development director that the character of the surrounding neighborhood allows for a reduction in size or waiver of the required based on the following:

- a. Whether at least 50% of the developed lots within 250 feet of the subject property are designed and constructed consistently with the requested design alternative(s); and
- b. Whether the directly adjoining developed lots are designed and constructed consistently with the requested design alternative(s).

For purposes of this subsection, if the lots that exist within 250 feet of the subject property are undeveloped, then the neighborhood character determination by the community development director will be based upon the assumption that such lots, as if developed, contain the required minimum 288 square feet garages for each House D building, and each unit of a 2-unit House D, thereon.

6. RESERVED.

7. Minimum House Size.

- a. Single-unit and two-unit House Type D buildings constructed after the effective date of this chapter as defined in section [135-1.2](#) of this chapter shall meet or exceed the following minimum finished floor areas. Design alternatives are available pursuant to section [135-9.2 of this chapter](#), with consideration thereof subject to the variety of House building types, or the variety of minimum square footages and design features in the same House building type, to be provided for any development other than infill single-unit or two-unit House Type D buildings on lots surrounded by existing buildings:

- i. Single-story unit with a full basement shall be a minimum of 1,100 square feet.
- ii. Single-story unit without a full basement shall be a minimum of 1,200 square feet.
- iii. One-and-a-half story unit with a full basement shall be a minimum of 1,250 square feet.
- iv. One-and-a-half story unit without a full basement shall be a minimum of 1,300 square feet.
- v. Two-story unit with a full basement shall be a minimum of 1,300 square feet.
- vi. Two-story unit without a full basement

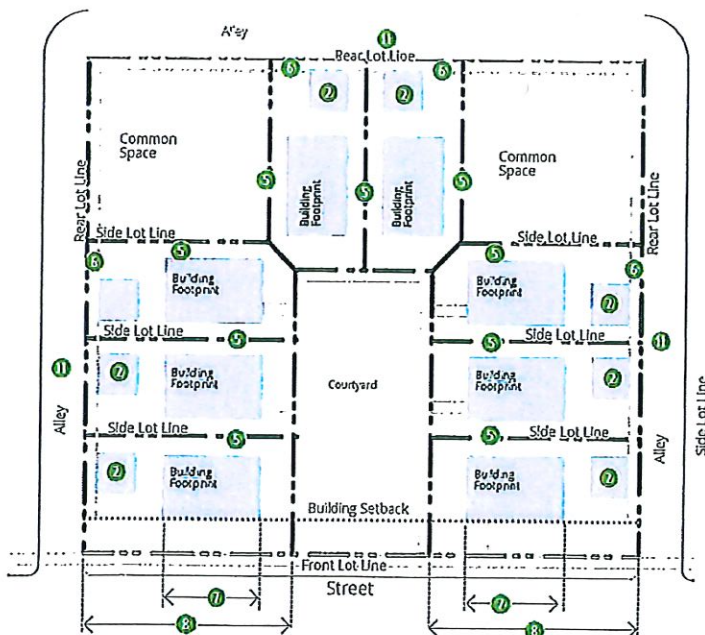


Figure 135-2.16-F. House D Court: Multiple Principal House D Buildings



## 135-2. BUILDING TYPES

### House D Building Type

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shall be a minimum of 1,400 square feet.

- b. For House D building types, 50% of the total finished floor area of a basement may be used to calculate minimum house size square footages.

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**135-2.17 Parking Structure****2.17.1 DESCRIPTION AND INTENT**

The parking structure building type is intended to define the characteristics of any parking structure fronting on a street, whether a stand-alone principal structure, an accessory structure, or a portion of another building type. The characteristics of this building type are meant to primarily address the facade of the building along the streetscape, the negative impact of the vehicle headlights on adjacent buildings, and the comfort and accessibility for both pedestrians along the street and people leaving and entering the structure.

**2.17.2 ILLUSTRATIVE IMAGES**

The image shown in Figure 135-2.17-A is intended to illustrate the general character intent for the building type. The buildings and sites in each image may not fulfill all of the building type requirements.



Figure 135-2.17-A. Example Illustration of Parking Structure along Street



# 135-2. BUILDING TYPES

## Parking Structure

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### 2.17.3 PARKING STRUCTURE REGULATIONS

DX		All Other Districts		REFERENCES
<b>A. Building Siting:</b> Refer to Figure 135-2.17-B				
① Multiple Buildings	Not permitted; No accessory building permitted on lot			
② Location	Not permitted fronting a primary street except with an approved Type 1 design alternative		See 134-3.5.14 for non-accessory parking use regulations.	
③ Minimum Front Setback (ft)	5 or at least 5 feet less than the front setback of adjacent building, whichever is greater			
④ Minimum Street Side Setback (ft)	5 or at least 5 feet less than the front setback of adjacent building, whichever is greater			
⑤ Minimum Interior Side Setback (ft)	0, 5 at alley	10, 5 at alley	0 allowed at the alley subject to approval of the community development director and city engineer.	
⑥ Minimum Rear Setback (ft)	0, 5 at alley	15, 5 at alley, 20 abutting any N or NX district	0 allowed at the alley subject to approval of the community development director and city engineer.	
⑦ Maximum Impervious Area Additional Semi-Pervious Area	75% 25%	75% 15%	See 135-3.6 for measurement.	
⑧ Garage Entrance Location	Non-primary street, side, or rear facade; Primary street with a Type 1 design alternative		See 135-4.3.8 for additional garage door requirements on primary frontage facades.	
⑨ Permitted Driveway Access	Improved alley or non-primary street frontage; Primary street with a Type 1 design alternative		See 135-6.12 for additional driveway regulations.	
⑩ Number of Access Points	No more than 2 access points shall be located on any 1 street, totaling no more than 24 feet of drives crossing sidewalk		See 135-6.12 for additional driveway regulations.	
<b>B. Height:</b> Refer to Figure 135-2.17-C				
⑪ Maximum Overall Height	1 story less than any other permitted building type in the district			
⑫ All Full Stories; (Measured floor-to-floor) Minimum Height (ft) Maximum Height (ft)	9 12		See 135-3.7 for measurement information. Story heights are measured floor to floor.	
⑬ Sloped Floors	Not permitted on primary street facades; to the extent practicable, sloped floors shall be located on non-street facades.			

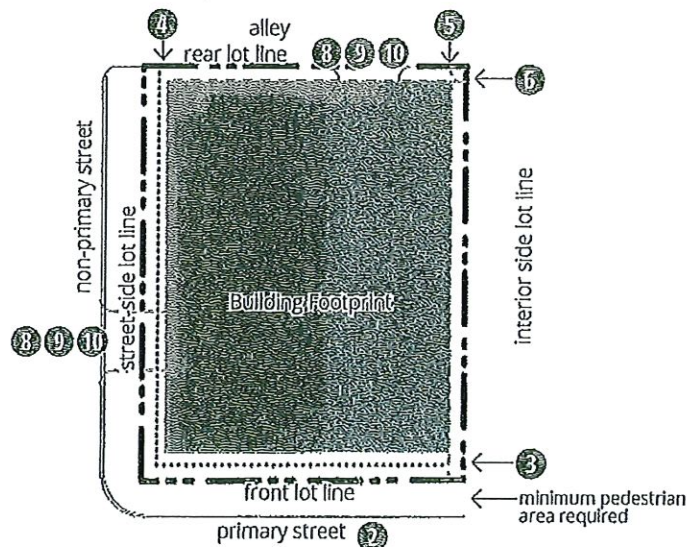


Figure 135-2.17-B. Parking Structure: Building Siting

# 135-2. BUILDING TYPES

## Parking Structure

	DX	All Other Districts	REFERENCES
<b>C. Uses.</b> Refer to Figure 135-2.17-C.			
14 All Stories	Parking and associated accessory uses (parking office, car wash, storage) only		See <a href="#">chapter 134, article 3</a> for permitted uses per zoning district and definition of uses. Where any other use is incorporated, a building type permitted in the district must be utilized.
<b>D. Street Facade &amp; Roof Requirements.</b> Refer to Figure 135-2.17-D			
15 Wall Requirement to Block Headlights	Solid wall, min. 3 ft in height, along all street and alley facades	Solid wall, min. 3 ft in height, along all street and alley facades and along any side or rear facade located more than 5 ft from an abutting building.	See <a href="#">135-3.8</a> for measurement information and definition of blank wall limitations.
General Blank Wall Limitations	30%; blank wall limitations apply to front facade		
16 Principal Entrance Number Principal Entrance Location	A defined pedestrian entrance/exit is required separate from the vehicular entrance and directly accessing the public sidewalk. If the space is enclosed, transparent windows are required a rate of 65%.		See <a href="#">135-4.3.6</a> for principal entryway design requirements.
17 Street Facades of Ground Story Elevation	Within 30 inches vertically of adjacent sidewalk elevation OR between 30 inches and 5 ft with visible basement (transparency required)		
18 Mid-Building Pedestrianway	For buildings greater than 250 ft in length, a pedestrian entrance and pedestrianway through the structure is required.		
19 Vertical Divisions	Every 30 feet, extending to the full height of the structure. Divisions shall be a minimum of 2 ft in width with a minimum projection of 2 inches.		
20 Permitted Major Building Materials	See <a href="#">135-4.2</a> for facade and roof materials		
21 Permitted Roof Types	The top story of the parking structure shall include a parapet or other roof type along street facades. Towers are permitted.		See <a href="#">135-2.20</a> for roof types.

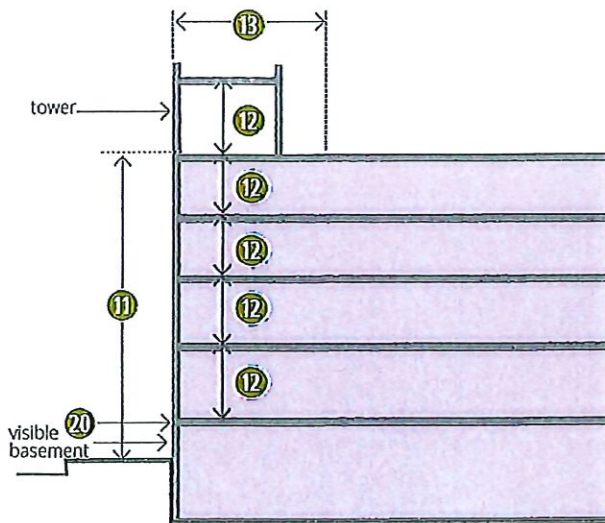


Figure 135-2.17-C. Parking Structure: Height and Uses Requirements

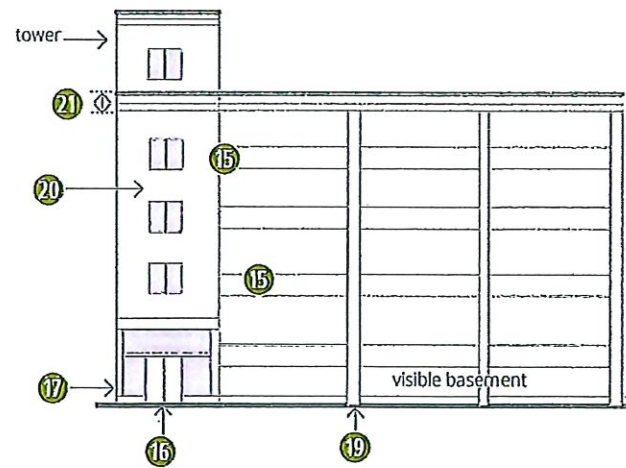


Figure 135-2.17-D. Parking Structure: Facade Requirements



## 135-2. BUILDING TYPES

### Parking Structure

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#### E. Additional Regulations/Notes

1. MX District Deck and Patio. Any deck or patio associated with a non-residential use in any MX district shall be located in the rear, side, or corner side yard. A deck or patio in the front yard may be approved through a Type 1 design alternative, either subject to primary frontage coverage or with a Type 1 design alternative to primary frontage coverage.

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## 135-2. BUILDING TYPES

### Capitol Dominance Area

#### 135-2.18 Capitol Dominance Area

##### 2.18.1 PURPOSE

The Iowa State Capitol is a source of pride and inspiration to the citizens of the state. The dramatic appearance and recognition of the Capitol results in substantial part from the inspiring manner in which it physically dominates the Capitol environs and the eastside downtown commercial district. The Capitol serves as a focal point for inspiring vistas from prominent public viewing points throughout the City of Des Moines and the surrounding area. The panoramic view outward from the Capitol across the city and state is symbolic of the statewide importance of the Capitol and of the state offices therein.

The Iowa Legislature has recognized the statewide importance of preserving and protecting the dominance of the Capitol and the view of the Capitol from prominent public viewing areas by its enactment of legislation specifically delegating to the City of Des Moines authority to protect such dominance and view by regulating and restricting the height and size of buildings and other structures within the city. The protection of the dominant height of the Capitol and the view of the Capitol from prominent public viewing areas is not only a concern for the citizens of the city, but for all citizens of the state, for the Capitol is a financial, cultural, and aesthetic investment and resource of the entire citizenry.

For the foregoing reasons, the city council of the City of Des Moines declares its Intent to preserve and protect the dominant height of the Iowa State Capitol in relation to surrounding structures, the view of the Capitol from prominent public viewing areas, and the view outward across the city and state from the Capitol. In addition to the regulations otherwise imposed by the zoning ordinance, construction of new structures and the expansion and remodeling of existing structures within the capitol dominance area shall be subject to the height limitations imposed by this section.

##### 2.18.2 HEIGHT LIMITATIONS

**A. MAXIMUM BUILDING HEIGHT.** Any lot within the highlighted area in Figure 135-2.18-A shall have a maximum height of 75 feet. Refer to the city's GIS system for specific location.

**B. HEIGHTS OF TOWERS, UTILITIES, AND OTHER APPURTENANCES.** Within the boundaries of the capitol dominance area established by this section, no structure shall be constructed or enlarged to a height in excess of the maximum elevation established. Chimneys, cooling towers, elevator bulkheads, antennas, and necessary mechanical appurtenances extending above the roof of a building may exceed the maximum elevation established for such district by not more than 15 feet provided they are set back at least 15 feet from all faces of the building adjacent to a street.

##### 2.18.3 TYPE 2 DESIGN ALTERNATIVE

A Type 2 design alternative may be requested for the height limitations with the following considerations:

- A. Compliance with the purpose statement above in this section.
- B. The applicant must provide a detailed architectural and viewshed analysis that illustrates, three-dimensionally, the specific location and specific heights of all components and includes the following, at a minimum:
  1. Proximity to the Capitol;
  2. Proximity to view corridors identified in the Capitol Gateway East Urban Design Plan or most recent similar plan;
  3. Impact on views to and from the Capitol; and
  4. Any other illustrations as required by the community development director.



Figure 135-2.18-A. Capitol Dominance Area.

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## 135-2. BUILDING TYPES

### Sherman Hill Neighborhood Build-to Zones

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#### 135-2.19 Sherman Hill Neighborhood Build-to Zones

The following table defines build-to zones for the Sherman Hill neighborhood by block face.

TABLE 135-2.19-1. DESCRIPTION OF BLOCK FACES		Build-to Zone	
BLOCK FACE	Minimum from street lot line (feet)	Maximum from street lot line (feet)	
Block face lying west of and adjoining 20th Street between Woodland and Pleasant	17	25	
Block face lying east of and adjoining 20th Street between Woodland and Pleasant	22	25	
Block face lying west of and adjoining 20th Street between Pleasant and Center	16	25	
Block face lying east of and adjoining 20th Street between Pleasant and Center	17	25	
Block face lying west of and adjoining 19th Street between Woodland and Pleasant	15	30	
Block face lying east of and adjoining 19th Street between Woodland and Pleasant	20	25	
Block face lying west of and adjoining 19th Street between Pleasant and Center	14	25	
Block face lying east of and adjoining 19th Street between Pleasant and Center	12	25	
Block face lying west of and adjoining 19th Street between Center and Crocker	12	25	
Block face lying east of and adjoining 19th Street between Center and district boundary south of Crocker	14	20	
Block face lying west of and adjoining 19th Street between Olive and School	17	25	
Block face lying west of and adjoining 18th Street between Woodland and Pleasant	20	30	
Block face lying east of and adjoining 18th Street between Woodland and Pleasant	20	27	
Block face lying west of and adjoining 18th Street between Pleasant and Center	15	25	
Block face lying east of and adjoining 18th Street between Pleasant and Center	14	25	
Block face lying west of and adjoining 18th Street between Center and district boundary south of Crocker	15	25	
Block face lying east of and adjoining 18th Street between Center and district boundary south of Crocker	20	30	
Block face lying west of and adjoining 18th Street between Crocker and Olive	24	30	
Block face lying east of and adjoining 18th Street between Crocker and district boundary north of Olive	16	25	
Block face lying west of and adjoining 17th Street between Woodland and Pleasant	16	25	
Block face lying east of and adjoining 17th Street between Woodland and Pleasant	25	30	



## 135-2. BUILDING TYPES

Sherman Hill Neighborhood Build-to Zones

**TABLE 135-2.19-1. DESCRIPTION OF BLOCK FACES****Build-to Zone**

<b>BLOCK FACE</b>	<b>Minimum from street lot line (feet)</b>	<b>Maximum from street lot line (feet)</b>
Block face lying west of and adjoining 17th Street between Pleasant and Center	15	20
Block face lying east of and adjoining 17th Street between Pleasant and Center	17	25
Block face lying west of and adjoining 17th Street between Center and district boundary south of Crocker	14	24
Block face lying east of and adjoining 17th Street between Center and district boundary south of Crocker	7	20
Block face lying west of and adjoining 16th Street between Woodland and Pleasant	15	20
Block face lying east of and adjoining 16th Street between Woodland and Pleasant	0	30
Block face lying west of and adjoining 16th Street between Pleasant and Center	15	25
Block face lying east of and adjoining 16th Street between Pleasant and Park	10	15
Block face lying east of and adjoining 16th Street between Park and Center	8	10
Block face lying west of and adjoining 16th Street between Center and Crocker	17	25
Block face lying east of and adjoining 16th Street between Center and Crocker	15	25
Block face lying west of and adjoining 15th Street between Woodland and Pleasant	17	20
Block face lying west of and adjoining 15th Street between Pleasant and Park	5	15
Block face lying west of and adjoining 15th Street between Park and Center	20	20
Block face lying west of and adjoining 15th Street between Center and Crocker	15	20
Block face lying south of and adjoining Woodland between 15th and 16th	5	15
Block face lying north of and adjoining Woodland between 15th and 16th	200	200
Block face lying south of and adjoining Woodland between 16th and 17th	0	12
Block face lying north of and adjoining Woodland between 16th and 17th	25	35
Block faces lying south of and adjoining Woodland between 17th and 19th	0	25
Block face lying north of and adjoining Woodland between 17th and 18th	21	23
Block face lying north of and adjoining Woodland between 18th and 19th	0	20



## 135-2. BUILDING TYPES

Sherman Hill Neighborhood Build-to Zones

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TABLE 135-2.19-1. DESCRIPTION OF BLOCK FACES		Build-to Zone	
BLOCK FACE	Minimum from street lot line (feet)	Maximum from street lot line (feet)	
Block face lying south of and adjoining Woodland between 19th and district boundary to the west	0	25	
Block face lying north of and adjoining Woodland between 19th and 20th	0	10	
Block face lying north of and adjoining Woodland between 20th and district boundary to the west	15	15	
Block face lying south of and adjoining Pleasant between 15th and 16th	5	5	
Block face lying north of and adjoining Pleasant between 15th and 16th	5	30	
Block face lying south of and adjoining Pleasant between 16th and 17th	30	30	
Block face lying north of and adjoining Pleasant between 16th and 17th	20	30	
Block face lying south of and adjoining Pleasant between 17th and 18th	12	20	
Block face lying north of and adjoining Pleasant between 17th and 18th	2	18	
Block face lying south of and adjoining Pleasant between 18th and 19th	5	15	
Block face lying north of and adjoining Pleasant between 18th and 19th	7	10	
Block face lying south of and adjoining Pleasant between 19th and 20th	5	20	
Block face lying north of and adjoining Pleasant between 19th and 20th	7	20	
Block face lying south of and adjoining Pleasant between 20th and district boundary to the west	5	5	
Block face lying north of and adjoining Pleasant between 20th and district boundary to the west	5	10	
Block face lying south of and adjoining Park between 15th and 16th	0	15	
Block face lying north of and adjoining Park between 15th and 16th	15	15	
Block face lying south of and adjoining Center between 15th and 16th	10	15	
Block face lying north of and adjoining Center between 15th and 16th	38	55	
Block face lying south of and adjoining Center between 16th and 17th	5	10	
Block face lying north of and adjoining Center between 16th and 17th	28	40	
Block face lying south of and adjoining Center between 17th and 18th	2	15	

## 135-2. BUILDING TYPES

Sherman Hill Neighborhood Build-to Zones

**TABLE 135-2.19-1. DESCRIPTION OF BLOCK FACES****Build-to Zone**

BLOCK FACE	Minimum from street lot line (feet)	Maximum from street lot line (feet)
Block face lying north of and adjoining Center between 17th and 18th	20	20
Block face lying south of and adjoining Center between 18th and 19th	12	15
Block face lying north of and adjoining Center between 18th and 19th	14	22
Block face lying south of and adjoining Center between 19th and 20th	0	20
Block face lying south of and adjoining Center between 20th and district boundary to the west	8	8
Block face lying north of and adjoining Center between 19th and West 19th Street Place	0	12
Block face lying south of and adjoining Leyner between 19th and 19th Street Place	5	5
Block face lying north of and adjoining Leyner between 19th and 19th Street Place	15	15
Block face lying south of and adjoining Crocker between 19th and 19th Street Place	5	5
Block face lying south of and adjoining Crocker between 17th and 16th	0	10
Block face lying south of and adjoining Crocker between 16th and 15th	10	15
Block face lying south of and adjoining Olive between 18th and district boundary to the east	5	5
Block face lying north of and adjoining Olive between 18th and district boundary to the east	5	5
Block face lying west of and adjoining 16th between Woodland and district boundary to the south	8	10
Block face lying east of and adjoining 16th between Woodland and district boundary to the south	8	12
Block face lying east of and adjoining 17th between Woodland and district boundary to the south	0	15
Block face lying west of and adjoining 17th between Woodland and district boundary to the south	0	5
Block face lying east of and adjoining 19th between Woodland and district boundary to the south	10	15
Block face lying west of and adjoining 19th between Woodland and district boundary to the south	0	0



## 135-2. BUILDING TYPES

### Roof Types

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#### 135-2.20 Roof Types

The major components of any roof must meet the requirements of one of the roof types permitted per building type. Roofs for bay or bow windows and dormers are not required to meet a roof type.

##### 2.20.1 ROOF TERRACES

Roof terraces are permitted upon any roof type, provided either a tower is permitted for access or the height allows for access.

- A. Any wall around the roof terrace that is located within five feet of the street face of the building shall meet the requirements of a parapet.
- B. Any overhead structures shall be located a minimum 30 feet back from a street facade, unless a Type 1 design alternative pursuant to section 135-9.2 of this chapter is approved and the overhead structure is designed as a component of the overall building design.

##### 2.20.2 SPECIAL ROOF TYPES

Special cap designs not otherwise defined in this section may be approved through a Type 1 design alternative pursuant to section 135-9.2 of this chapter during the site plan or alternate design document review process with the following requirements:

- A. The building must warrant a separate status from the majority of buildings in the district, with a correspondence between the form of the cap and

the building use, such as a dome for a planetarium, a dome for a place of worship, a steeple for a place of worship, or a unique roof for a more distinctive city hall or community center.

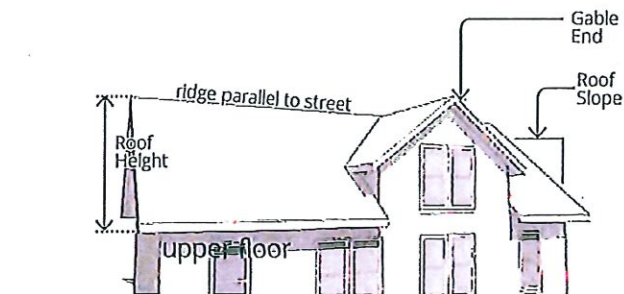
- B. The roof type may not create additional occupiable space beyond that permitted by the building type.
- C. The shape of the roof must be different from those defined in this section, such as a dome, spire, or vault, and not a gabled roof, hipped roof, butterfly roof, gambrel roof, mansard roof, roof with parapet, or flat roof.

##### 2.20.3 PITCHED ROOF TYPE

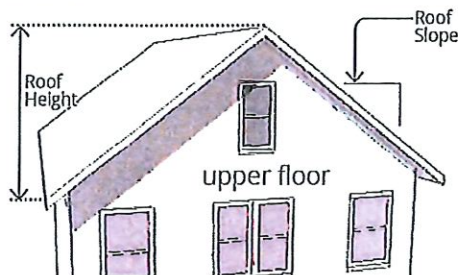
Refer to Figure 135-2.19-B. This roof type is a sloped or pitched roof. Slope is measured with the vertical rise divided by the horizontal span or run.

###### A. Low Pitched and Pitched.

- 1. Low Pitched. The low pitched roof must be pitched between 3:12 and 8:12 (rise:run).
- 2. Pitched. The pitched roof must be sloped more than 5:12, for one and 1.5 story buildings. Slopes less than 8:12 are permitted on any two story building.

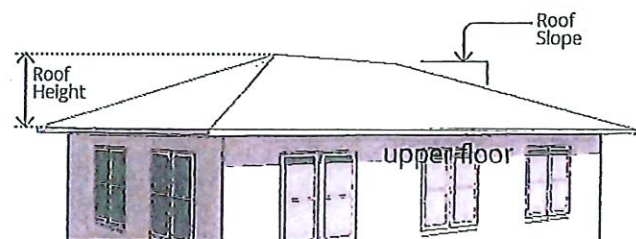
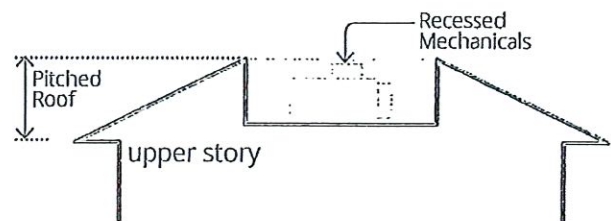


Parallel Pitched



Pitched Roof Type (Gable Roof)

Figure 135-2.19-B. Examples of Pitched Roof Type



Low Pitched Roof Type (Hip Roof)



## 135-2. BUILDING TYPES

### Roof Types

- B. Configurations.** The following configurations are permitted, unless otherwise expressly stated in the applicable building type regulations.
1. Hipped, gabled, and combination of hips and gables are permitted.
  2. Butterfly (inverted gable roof) and shed roofs are permitted with a maximum height of eight feet, including overhang.
  3. Gambrel roofs are permitted on House D only and the main ridge must be perpendicular to the street.
  4. Mansard roofs are not permitted on any building.
- C. Parallel Ridge Line.** When the main ridge line runs parallel to the front lot line, a gabled end or perpendicular ridge line must occur at least every 100 feet of roof, unless expressly defined by the applicable building type regulation as shown in Figure 135-2.19-B.
- D. Eaves Required.** Eaves are required on all pitched roofs. The depth of the eave is measured from the building facade to the outside edge of the eave. Eaves must have a depth of at least 12 inches on all building types, unless otherwise noted in the building type regulations.
- E. Roof Height.** Roofs without occupied space and/or dormers must have a maximum height on primary and non-primary frontage facades equal to no more than 1.5 times the upper story floor-to-floor height utilized on the building.
- F. Occupied Space.** Occupied space may be incorporated behind this roof type. If used, the space counts as a half story.
- G. Rooftop Appurtenances.** With the exception of solar panels and wireless telecommunications equipment if compliance is not technologically possible, any rooftop appurtenances must be recessed within the pitched roof with no visibility on any street elevation drawing. See section 135-4.5 of this chapter for screening of rooftop appurtenances.

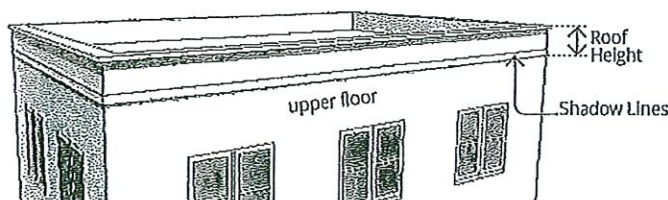


Figure 135-2.20-A. Example of a Parapet Roof Type

#### 2.20.4 PARAPET ROOF TYPE

A parapet is a low wall projecting above a building's roof along the perimeter of the building as shown in Figure 135-2.20-A.

- A. Parapet Height.** Height is measured from the top of the upper story to the top of the parapet. Minimum height is two feet with a maximum height of six feet.
- B. Horizontal Shadow Lines.** A shadow line must define the parapet from the upper stories of the building and must also define the top of the cap. See section 135-1.2.1.2.1 of this chapter for definition of shadow line.
- C. Occupied Space.** Occupied space may not be incorporated behind this roof type.
- D. Rooftop Appurtenances.** With the exception of solar panels and wireless telecommunications equipment if compliance is not technologically possible, any rooftop appurtenances must be located towards the rear or interior of the parapet roof. See section 135-4.5 of this chapter for screening of rooftop appurtenances.

#### 2.20.5 FLAT ROOF TYPE

This roof type is a visibly flat roof with overhanging eaves as shown in Figure 135-2.20-B.

- A. Configuration.** The roof may not have a visible slope from the street and eaves are required on all primary and non-primary frontage facades.
- B. Eave Depth.** Eave depth is measured from the building facade to the outside edge of the eave. Eaves must have a depth of at least 14 inches.
- C. Eave Thickness.** Eave thickness is measured at the outside edge of the eave, from the bottom of the eave to the top of the eave. Eaves must be a minimum of six inches thick.
- D. Interrupting Vertical Walls.** Vertical wall planes

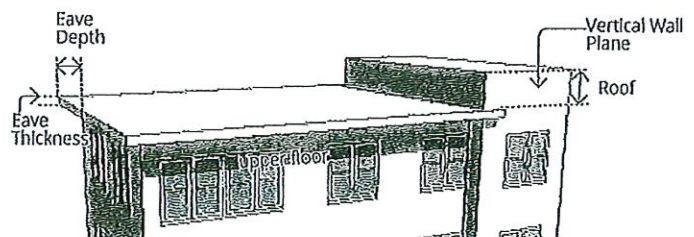


Figure 135-2.20-B. Example of a Flat Roof Type



## 135-2. BUILDING TYPES

### Roof Types

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may interrupt the eave and extend above the top of the eave with no discernible cap.

1. No more than one-third of the front facade may consist of an interrupting vertical wall.
2. Vertical walls may extend no more than eight feet above the top of the eave.

**E. Occupied Space.** Occupied space may not be incorporated behind this roof type.

**F. Rooftop Appurtenances.** With the exception of solar panels and wireless telecommunications equipment if compliance is not technologically possible, any rooftop appurtenances must be located behind the interrupting vertical wall with no visibility on any street elevation drawing. See section 135-4.5 of this chapter for screening of rooftop appurtenances.

#### 2.20.6 TOWER

A tower is a vertical element, polygonal (simple), rectilinear, or cylindrical in plan that may be used only in addition to other roof types as shown in Figure 135-2.20-C.

- A. Quantity.** The number of towers permitted on each building type is specified in the building type tables. Tower locations may be located on the front of the building, visible from the street, or may be functional towers located beyond the facade.
- B. Tower Height.** Tower height is measured from the top of the parapet or eave to the top of the tower shaft not including the tower roof. Maximum height of the tower is equal to the height of one upper floor of the building to which the tower is applied. Tower height is additional to the maximum height of the building type.
- C. Tower Width.** Maximum width along all facades is one-third the width of the front facade or 30 feet, whichever is less.
- D. Tower Spacing.** Towers must be spaced a minimum of 60 feet apart in any direction and a minimum of 120 feet along any street frontage facade.
- E. Transparency.** Towers that meet the minimum floor-to-floor to height of the building type and are located within 30 feet of a facade must meet the minimum transparency requirements of the building.
- F. Horizontal Shadow Lines.** A shadow line is required between the fourth and fifth stories of any tower and below the roof of the tower.
- G. Occupied Space.** Towers may be occupied by the same uses allowed in upper stories of the

building type to which it is applied, unless otherwise expressly stated in this ordinance.

**H. Rooftop Appurtenances.** No rooftop appurtenances are permitted on tower roofs, other than wireless telecommunications equipment if alternate placement is not technologically possible.

**I. Tower Roof.** The tower may be capped by the parapet, pitched, or flat roof types.

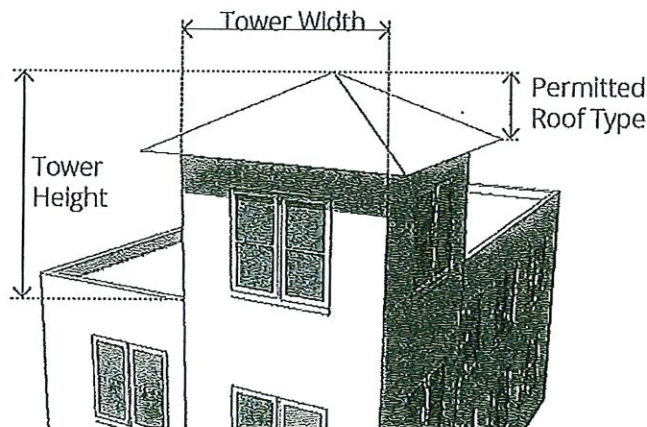


Figure 135-2.20-C. Example of a Tower



**135-2.21 Mobile Home Parks**

The following applies to any mobile home development in the NM district, other than to pre-existing manufactured, modular, or mobile homes, or pre-existing site-built household units, when the continuation of the lawful nonconforming use is required under section 134-7.2.9 of this code.

**2.21.1 BUILDINGS, SPACE, AND MOBILE HOME REQUIREMENTS**

- A. Building Types.** Mobile homes are exempt from building type requirements, but may only occur in the NM district.
- B. Total Minimum Area.** Minimum 10 acres required for submittal of a mobile home park.
- C. Minimum Street Setback.** Minimum 50 feet.
- D. Side and Rear Setback.** 50 feet, minimum, when adjacent to any other N district; 30 feet, minimum, when adjacent to any other district.
- E. Mobile home space area.** 4,500 square feet, minimum, per space.
- F. Mobile home space, front yard.** 10 feet, minimum, measured from the edge of the closest park street to the closest point of the lower face of the mobile home.
- G. Mobile home space rear yard.** 10 feet, minimum, measured from the rear space line to the closest point of the lower face of the mobile home.
- H. Mobile homes side yard separation.** 15 feet, minimum.
- I. Permitted Buildings.** Buildings shall be not more than two stories in height and shall have minimum 25 foot setbacks on all sides, unless otherwise stated.
- J. Garages and Storage Structures.** Garages and structures used for occupant storage facilities and located on mobile home spaces shall be not more than 17 feet and one story in height, and shall observe the following minimum setbacks:
  1. Front yard setback: 17 feet from the edge of the closest park street.
  2. Rear yard setback: two feet from the rear space line.
  3. Side yard setback: two feet from the side space line. However, unless the accessory building is located such that at least one-half of its depth is to the rear of the mobile home, the accessory

building shall also observe a 15-foot separation from any structure on an adjoining mobile home space.

**2.21.2 LAYOUT REQUIREMENTS**

- A. Minimum number of spaces.** No mobile home park nor any initial stage thereof shall contain less than 50 mobile home spaces.
- B. Recreation areas.** Not less than 8% of the gross area of every mobile home park shall be developed as recreation areas easily accessible to all park residents. Recreation areas may include but are not limited to such facilities as recreation buildings, adult recreation areas, child play areas, and swimming pools.
- C. Off-street loading and parking.** In addition to the provisions of article 6 of this chapter, the following shall apply:
  1. Two parking spaces shall be required for each mobile home space.
  2. Off-street parking and storage shall be provided for storing of park occupants' boats, boat trailers, travel trailers, pickup coaches, truck tractors, trucks over three-fourths ton pickup size, and items of a similar nature, if permitted in the park, in addition to and separate from the parking required elsewhere in this chapter. Temporary mobile home storage may be permitted prior to permanent placement on the mobile home stand but shall not exceed seven days.
- D. Streets.** Streets shall be provided as follows:
  1. Entrance streets shall be not less than 35 feet wide. Interior streets shall be not less than 25 feet wide.
  2. Every dead-end street shall be provided with a cul-de-sac with not less than an 80-foot turning diameter.
  3. All streets shall be paved and constructed with a curb to provide for drainage.
  4. The location and design of all intersections of access streets with public streets shall be approved by the city's traffic engineer.
- E. Walks.** Walks shall be provided as follows:
  1. Common sidewalks shall be provided along all entrance streets and in areas of high pedestrian traffic such as in the vicinity of community buildings and recreation facilities. The sidewalks shall be at least four feet wide and of asphaltic or



## 135-2. BUILDING TYPES

### Mobile Home Parks

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Portland cement binder pavement.

2. Individual walks shall be provided to connect all mobile home stands to common sidewalks, to paved streets, or the paved driveways or parking spaces connected to a paved street. Such individual walks shall be at least two feet wide and of asphaltic or Portland cement binder pavement.

**F. Lighting.** The park street system shall be furnished with lighting units so placed and equipped to provide the following average minimum maintained levels of illumination:

1. Upon all parts of the park street system, 0.2 footcandle.
2. Upon potentially hazardous locations including major street intersections and park entrances, 0.4 footcandle.

**G. Anchorage and skirting.** Anchorage and skirting shall be required as follows:

1. Tiedowns or anchors shall be provided as needed on every mobile home stand. Each tiedown or anchor must be able to sustain a minimum tensile strength of 2,800 pounds.
2. Skirting of a permanent type material and construction sufficient to provide substantial resistance to high winds shall be installed within 90 days after the placement of the mobile home to enclose the open space between the bottom of the mobile home floor and the grade level of the mobile home stand. The skirting shall be maintained in an attractive manner consistent with the exterior of the mobile home and the appearance of the mobile home park.

**H. Solid waste receptacles.** Refuse collection stands consisting of a holder or rack elevated at least 12 inches above ground or on an impervious slab at ground level shall be provided for all solid waste receptacles.

**I. Sewage disposal.** Before the preliminary development plan is approved by the commission or council, the developer must show that sanitary sewer facilities of sufficient capacity to accommodate the development are accessible. The design of the sanitary sewer facilities shall be approved by the city

engineer.

**J. Traffic control at entrances and exists.** If turning lanes or other forms of traffic controls at entrances and exists to and from the mobile home park are deemed necessary by the council, the developer shall provide the necessary improvements, subject to the approval of their location and design by the department of engineering.

**K. Underground electric and telephone lines.** All electric lines and telephone lines shall be buried underground.

**L. Independent mobile homes.** Only independent mobile homes shall be used for residence purposes in mobile home parks. An independent mobile home is a mobile home which:

1. Is designed for longterm occupancy and contains a flush toilet, a tub or shower bath and kitchen facilities.
2. Requires a connection to outside sewer and water systems because a waste holding tank and a water storage tank are not integral parts of the mobile home.
3. Is over 32 feet in body length exclusive of trailer hitch when factory equipped for the road.
4. Is not built on a self-propelled motor chassis.
5. Is not identified as a recreational vehicle such as a camping trailer, travel trailer, motor home, or truck camper by the manufacturer.



**135-2.22 Accessory Structures**

Accessory structures are allowed on lots only in connection with a principal use. Accessory structures are subordinate and incidental to the principal use.

**2.22.1 ACCESSORY STRUCTURES TABLE**

- A. Table.** Table 135-2.22-1 of this article establishes the permitted accessory structures in each district.
- B. Categories.** Accessory structures are divided into three categories: Accessory Buildings, Accessory Outdoor Structures, and Accessory Utility Structures.
- C. Development Standards Apply.** Each accessory structure allowed in the districts in which it is listed, provided that it is developed utilizing any development standards detailed below.
- D. General Development Standards.** All accessory structures shall fulfill the following development standards, unless otherwise stated in this section 135-2.22 of this article.
1. **Yard.** Accessory structures shall be located in the side and rear yards unless located within the P1 district.
  2. **Parking Spaces.** Accessory structures shall not be located upon required parking spaces per article 6 of this chapter without a Type 1 design alternative pursuant to section 135-9.2 of this chapter.
  3. **Setback.** Accessory structures shall comply with the following setbacks:
    - a. **Front and Corner Lot Lines.** Accessory structures shall not extend closer to the front or corner lot line than the principal structure. Refer to building siting requirements of the associated building type.
    - b. **Side and Rear Lot Lines.** Minimum setback of an accessory structure shall be five feet.
    - c. **When a principal structure is not required** in association with a P1 district, an accessory structure shall be set back from all lot lines a minimum of 10 feet.
  4. **Impervious Area.** All accessory structures with roofs contribute to maximum building coverage, and all other structures or impervious paving contribute to the maximum impervious area for the site, as noted in the associated building type.
  5. **Height.** The maximum height is 17 feet, except where a higher different height is otherwise expressly permitted or required.

6. **Roof Type.** Roof type should match that of the principal structure when the accessory structure is greater than 300 square feet. Refer to the roof type requirements of the associated building type.
7. **Materials.** Materials shall match those of the principal structure when the accessory structure is greater than 300 square feet. Refer to the building material requirements of the associated building type.

**2.22.2 ACCESSORY BUILDINGS**

Accessory buildings shall be fully enclosed, unless otherwise stated. The following are classified as accessory buildings:

- A. Construction Structures.** Temporary structures associated with a construction project, including: temporary buildings used to house offices associated with construction or sales and marketing for the development; and temporary storage and waste containers.
1. Construction Structures are permitted in all yards.
  2. Construction Structures are only permitted in conjunction with open building permits and shall be removed when building permits are closed.
  3. Wheels and chassis on temporary buildings shall be screened from the street by skirting.
  4. Construction trailers are not required to meet roof types.
- B. Kiosk.** An accessory building with limited space for the proprietor and associated goods and no space for customers to enter the structure, with the exception of bathrooms.
1. **Yard.** Permitted in all yards.
  2. **Use.** A kiosk may house consumer goods, restaurant including a coffee shop, sandwich shop, or personal service.
  3. **Area.** Maximum of 500 square feet floor area.
  4. **Height.** Maximum of one story or 15 feet.
  5. **Facade Requirements.** A kiosk shall fulfill the following facade requirements:
    - a. Front and corner facades shall have a minimum transparency of 20% pursuant to section 135-3.8 of this chapter.
    - b. The kiosk shall be oriented toward the front of corner lot line. The primary sales or service windows or principal entrance shall



# 135-2. BUILDING TYPES

## Accessory Structures

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TABLE 135-2.22-1. ACCESSORY STRUCTURE TABLE																							
CATEGORY		DISTRICTS																				Reference	
Structure		A	DX1	DX2	DXR	MX1	MX2	MX3	RX1	RX2	OX	EX	I1	I2	N1, N2, N3, N4	N5	NX1	NX2, NX2a	NX3	NM	P1		P2
ACCESSORY BUILDINGS																							
Construction Structures		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.2
Kiosk		—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	⊙*	⊙*	135-2.22.2
Outbuilding and Detached Garages		⊙*	—	—	—	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.2
Parking Structure		—	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	—	—	—	—	—	—	—	⊙*	135-2.22.2
Temporary Building		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.2
Accessory Household Unit		—	—	—	—	—	—	—	—	—	—	—	—	—	⊙*	⊙*	⊙*	⊙*	⊙*	—	—	—	135-2.22.2
ACCESSORY OUTDOOR PAVING & STRUCTURES																							
Ball Court		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.3
Deck & Patio		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.3
Dog Run		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	—	—	—	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.3
Drive-Through Facility		—	—	—	—	—	⊙*	—	—	⊙*	⊙*	⊙*	—	—	—	—	—	—	—	—	—	—	135-2.22.3
Flag Pole		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.3
Fuel Station		—	—	⊙*	⊙*	—	⊙*	—	—	⊙*	⊙*	⊙*	⊙*	—	—	—	—	—	—	—	—	—	135-2.22.3
Gazebo		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.3
Landscape Feature		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.3
Temporary Storage Container		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.3
ACCESSORY UTILITY STRUCTURES																							
Antenna & Satellite Dish		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.4
EV Charging Stations		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.4
Mechanical Equipment		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.4
Rainwater Collection/Cisterns		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.4
Solar - Building-mounted		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.4
Solar - Freestanding		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.4
Wind - Roof-mounted		⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	⊙*	135-2.22.4
Wind - Freestanding		⊙*	—	—	—	—	—	—	—	—	⊙*	⊙*	⊙*	—	—	—	—	—	—	—	⊙*	⊙*	135-2.22.4

KEY: ⊙\*=permitted with development standards | —=prohibited | ⊙\*=permitted with development standards where district includes ".2" or ".4" extension



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be located on the front or corner facade.

6. Roof Type. Pitched roof type is required.
7. Permanent Structure. No wheels, hitch, or chassis shall be located on a kiosk.
8. Materials. Permitted materials include durable, natural materials, such as stone, brick, stucco, metal, concrete, and painted or stained wood.

**C. Outbuilding and Detached Garage.** A fully enclosed building on a lot that is detached from the principal structure on the same lot. A principal structure is required, unless otherwise stated. Typical outbuildings include detached garages, pool houses, workshops, barns, or sheds.

1. Side and Rear Setback. Minimum side and rear setback of an outbuilding shall be five feet.
2. Alley. Where a garage is accessed off an alley with pavement narrower than 20 feet, the garage shall be set back from the alley lot line to allow 24 feet from the opposite edge of alley pavement to the garage door.
3. Height. The maximum height of the outbuilding may be no taller than one-half story less than the principal building; however, in the event that the principal building is one story in height, the outbuilding may not exceed the height of the principal building.
4. Residential Districts. The lot coverage of all accessory structures, including an outbuilding, shall not exceed 576 square feet or 25% of the rear yard, whichever is greater, on a lot zoned Neighborhood (N) or Neighborhood Mix (NX).
5. Character. The outbuilding shall be compatible in color and character with the primary structure on the lot.
6. Accessory Household Unit. If a permitted AHU is contained within an outbuilding, then the requirements of subsections 4, 5, and 8 of section 135-2.22.2.F of this article shall also apply.

**D. Parking Structure.** A stand alone accessory structure for decked, multi-level parking. A parking structure is not necessarily fully enclosed.

1. Location. An accessory parking structure shall be located as follows:
  - a. Parking structures shall be located in the rear yard only and shall be screened from view from the front of the lot or any primary street by the principal building.

- b. Parking structures may be located in the center of a double frontage lot, screened from all primary streets by buildings.

2. Design. See section 135-2.17.3 of this article for regulations for parking structure street frontages.

**E. Temporary Building.** A temporary structure typically associated with a temporary event, such as a circus or temporary sale.

1. Yard. Permitted in all yards.
2. Requires a temporary use approval in accordance with chapter 134 of this code.
3. Temporary buildings associated with a temporary event shall be removed within 24 hours of the close of the event.
4. Wheels and chassis shall be screened by skirting.
5. Tents are considered a type of Temporary Building.
6. Height shall not exceed that of the permitted building type(s) pursuant to section 135-2.3 of this article through section 135-2.17 of this article.

**F. Accessory Household Unit (AHU) Building.** A stand alone accessory structure for a permitted accessory household unit(s) use.

1. Location. AHU buildings must be located in the rear yard.
2. Setback. AHU buildings shall be setback a minimum of five feet from any lot line.
3. Height. The maximum height is 17 feet, except where a higher maximum height is otherwise expressly permitted.
4. Roof Type. Roof type should match that of the principal structure. Refer to the roof type requirements of the associated building type.
5. Materials. Materials shall match those of the principal structure. Refer to the building material requirements of the associated building type.
6. Character. AHU buildings shall be compatible with the color and character of the primary structure on the lot.
7. Maximum Lot Coverage. The lot coverage of all accessory structures on a lot, including an AHU building, may not exceed 576 square feet or 25% of the rear yard, whichever is greater.
8. Parking. One additional off-street parking space must be provided per AHU.



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#### 2.22.3 ACCESSORY OUTDOOR PAVING AND STRUCTURES

The following accessory paving and structures are classified as Accessory Outdoor Paving and Structures.

- A. Ball Court.** Athletic facilities such as tennis and basketball courts.
- B. Deck and Patio.** An unenclosed outdoor space that could be roofed.
1. Yards. Permitted in all yards. Refer to building type regulations pursuant to section 135-2.3 of this article through section 135-2.16 of this article for impervious cover limits.
- C. Dog Run.** An enclosed outdoor area intended for containment or exercise of dogs and other domestic animals.
1. A dog run must be screened from view of the street by the principal structure or through fencing or landscape buffers.
  2. A dog run must be associated with a multi-household residential use containing nine or more units, or with any commercial animal service use that complies with section 134-3.5.2 of this code.
  3. Dog runs must be located a minimum of 200 feet from any N or NX1 district.

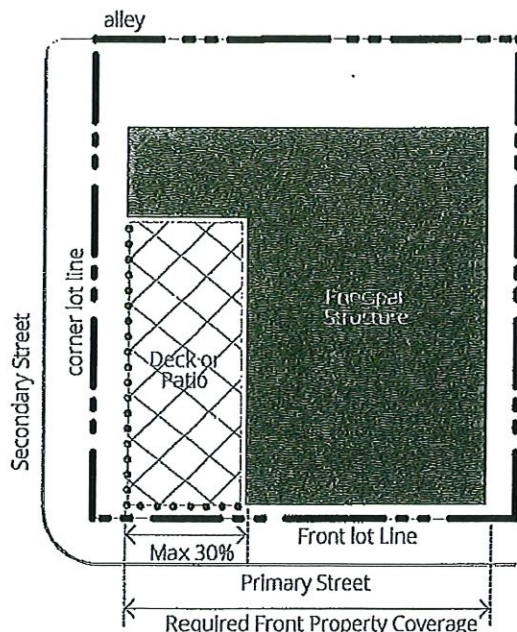


Figure 135-2.22-B. Deck and Patio for Non-Residential Use

**D. Drive-Through Facility.** Refer to section 134-3.9.3 of this code for drive-through uses in accessory uses. A drive-through facility is a structure or portion of a building that permits patrons to purchase goods or services while remaining in their vehicle. Refer to Figure 135-2.22-C for one illustration of a compliant drive-through facility.

1. Location. The drive-through shall be located on the rear of the building, fully screened by the building from the primary street, except in MX3, the drive-through is permitted on the interior side of the building.
2. Stacking. Stacking of cars shall be accommodated in the rear or interior side yard.
3. Where the rear of the lot abuts an N district, the drive-through facility shall be located a minimum of 70 feet from the rear lot line. A side and rear buffer per section 135-7.8 of this chapter is required.
4. Drive-through canopies and roofs shall match the roof of the principal building. Materials used for the drive-through supports or other features shall be repeated from the principal building design.
5. Lighting. See section 135-4.3.14 of this chapter for building and canopy-mounted lighting.

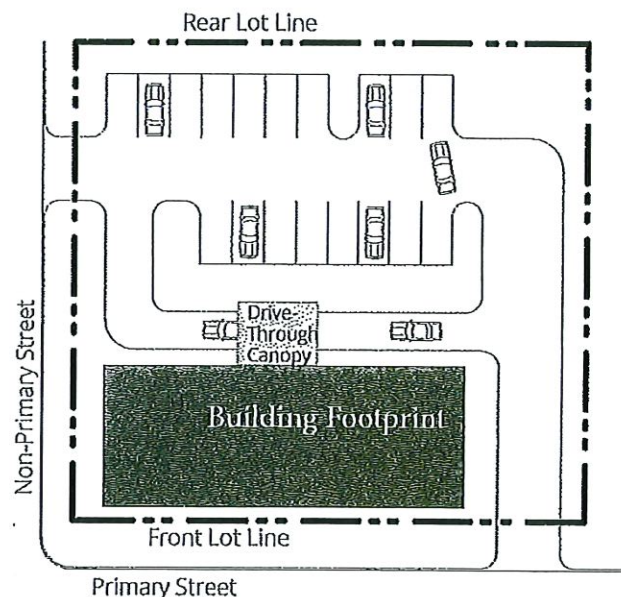


Figure 135-2.22-C. Example of Drive-Through Facility Layout.



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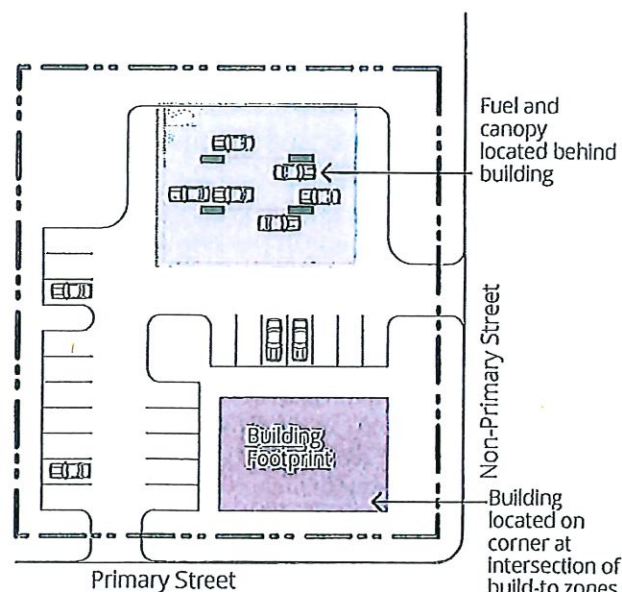
**E. Flag Pole.** A freestanding pole, usually constructed of wood or metal.

1. Yard. Permitted in all yards.
2. Height. A flag pole shall not exceed the following height limits:
  - a. MX1, RX1, N, NX Districts. The maximum height is 15 feet.
  - b. All Other Districts. The maximum height is 60 feet.
3. Setback. A setback of 10 feet from all lot lines is required.
4. Flag Size. The dimensions of any flag shall be proportional to the flagpole height such that the hoist side of the flag shall not exceed 50% of the vertical height.
5. Quantity of Flagpoles. No more than two flagpoles are permitted on a household lot. No more than three flagpoles are permitted on all other lots.

**F. Fuel Stations and Car Washes.** Refer to section 134-3.5.19.A of this code and Table 134-3.1-1 of chapter 134 of this code for fuel stations and car wash uses in addition to the applicable building type requirements. All fuel stations and car washes shall meet the following requirements as shown in Figure 135-2.22-D for one illustration of a compliant fuel

station.

1. Location. Any fueling location shall be in the rear or interior side yard.
2. Canopy. The roof of the canopy shall be similar to the building in style and material.
  - a. Maximum overall height of canopy is 18 feet with minimum clearance of 13 feet, nine inches.
  - b. Columns and supports shall be clad in a major material used on the building facade.
3. Lighting. See section 135-4.3.14 of this chapter for building and canopy-mounted lighting requirements.
4. Outdoor Displays. See section 134-3.9.5 of this code for outdoor display requirements.
5. Open Space. Minimum open space is based on the applicable building type.
6. Additional Incidental Structures. For incidental structures less than five cubic feet in size, including such items as air pumps and can redemption storage, see section 135-4.5.7 of this chapter for requirements.
7. Car Wash Facility.
  - a. Any car wash facility shall be located in the rear of the lot.
  - b. Vehicle entrance doors may be located on



Example of Fuel Station

Figure 135-2.22-D. Examples of Fuel Station Layout





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the rear facade, non-primary street facade, or an interior facade not visible from the primary street. Vehicular entrances are prohibited on the primary street facade, unless otherwise approved through a Type 2 design alternative per section 135-9.2 of this chapter. Vehicular entrances should be oriented away from residential uses.

- c. Building materials shall be the same as any major material used on the principal building. Refer to section 135-4.2 of this chapter for allowed materials.

8. Additional Drive Entrance. One driveway entrance, in addition to the driveways permitted by building type, is permitted on the lot, maximum width 22 feet. With a Type 2 design alternative per section 135-9.2 of this chapter, the additional driveway may be located on the primary street.

#### G. Gazebo. A freestanding, roofed structure with open sides.

1. Yard. Permitted in all yards.
2. Setback. Must be set back at least 15 feet from front and street-side lot lines.

#### H. Landscape Features.

1. Definitions. This category of residential recreational and aesthetic landscape outdoor structures includes the following:
  - a. Play Equipment. Recreational equipment for children, such as a sandbox, slide, climbing apparatus, skate board ramp, or swings.
  - b. Ponds. Water gardens or fish ponds; small ponds that consistently contain water during the summer and warmer months; and any pond containing plants or aquatic life.
  - c. Swimming Pool or Hot Tub. Any basin or other structure containing a minimum of two feet of water at any point in time for use by the resident, their family or guests. Temporarily erected plastic, canvas, or rubber pools that do not fulfill the depth requirement do not apply.
2. Yard. Permitted in all yards.
3. Setback. Must be set back at least 15 feet from front and street-side lot lines.

#### I. Temporary Storage Container. Temporary and transportable container for personal storage.

1. The container's size is limited to no greater than

825 cubic feet or covering an area no greater than 180 square feet of area.

2. Only one storage container is permitted per lot at a time.
3. Unless being used in conjunction with a valid building permit, the container may be located on a lot for no more than 10 consecutive days, no more than twice in a calendar year.
4. Any container may be temporarily stored in any yard. Any container shall be placed upon a paved surface, such as asphalt, concrete, or pavers.

#### 2.22.4 ACCESSORY UTILITY STRUCTURES

The following accessory structures are classified as Accessory Utility Structures:

##### A. Antenna and Satellite Dish. An apparatus, detached or attached to the exterior of a building, together with any supporting structure, for sending or receiving electromagnetic waves, excluding all wireless telecommunications structures which are regulated by chapter 134, article 4 of this code.

1. Size. The smallest practical size shall be used for any Antenna or Satellite Dish.
2. A stand-alone antenna or satellite dish shall not exceed a maximum of 10 feet in its outside diameter.
3. An antenna or satellite dish that is attached to the exterior of a building shall not be larger than 36 inches in diameter.
4. Additional size may be approved through the Type 1 design alternative pursuant to section 135-9.2 of this chapter.
5. Location. Antennae and Satellite Dishes shall be located as follows:
  - a. Stand-alone antennae and satellite dishes shall be located in the side and rear yards.
  - b. Antennae and satellite dishes may be attached to the roof and side and rear facades of buildings.
  - c. If these permitted locations will not allow the antenna or satellite dish to fully function, it may be located in the front or street-side yards or on the front or corner facades.
  - d. Evidence shall be provided to the community development director prior to installation in the front or corner yards or on the front or corner facades that the antenna or satellite dish cannot fully



function in either the side or rear yards or on the side or rear facades.

6. When a stand-alone antenna or satellite dish occurs adjacent to a residential district, the side and rear landscape buffer with a solid fence is required.

**B. Electric Vehicle Charging Stations.** An electric vehicle charging station is a public or private parking space that is served by battery charging equipment with the purpose of transferring electric energy to a battery or other energy storage device in an electric vehicle.

1. Types
  - a. Level 1, slow charging, operates on a 15 to 20 amp breaker on a 120 volt AC circuit.
  - b. Level 2, medium charging, operates on a 40 to 100 amp breaker on a 208 volt or 240 volt AC circuit.
  - c. Level 3, fast or rapid charging, operates on a 60 amp or higher breaker on a 480 volt or higher 3-phase circuit with special grounding equipment.
2. Siting and Setbacks. The siting and setbacks for stations shall be the same as the parking facility within which they are associated.
3. Design. Except when located in one, two, and three unit household locations, stations shall be reserved for parking and charging of electric vehicles only, with signage as described below.
4. Accessibility. All stations shall comply with federal regulations for accessibility.
5. Equipment.
  - a. Equipment mounted on pedestals, lighting posts, bollards, or other devices for on-street charging station shall be designed and located as to not impede pedestrian travel or create trip hazards within the right-of-way.
  - b. Charging station outlets and connector shall be no less than 36 inches or no higher than 48 inches from the top of the surface where mounted and shall contain a retraction device or a place to hang cords and connectors above the ground surface.
  - c. Equipment shall be protected by wheel stops or concrete-filled bollards.
  - d. Stations located within parking lots or garages may be included in the calculation

of the minimum required parking spaces required.

6. The station shall have complete instructions and appropriate warnings posted in an unobstructed location next to each station.
7. Vehicle charging equipment must be designed and located so as to not impede pedestrian, bicycle or wheelchair movement, or create safety hazards on sidewalks.
8. Maintenance. Electric vehicle charging stations must be maintained in all respects, including the functioning of the equipment.

**C. Mechanical Equipment.** Heating and air conditioning equipment and outdoor utility equipment stored on the ground for the ordinary function of a building or use. See section 135-4.5 of this chapter for screening requirements.

**D. Cistern and Rainwater Collection System.**

Systems for the collection and reuse of rainwater.

1. A rainwater collection system is exempted from inclusion in the site impervious area calculation.
2. Below ground systems may be located in any yard.

**E. Solar - Building-Mounted.** A solar energy system that is affixed to or an integral part of a principal or accessory building, including but not limited to photo-voltaic or hot water solar energy systems which are contained within roofing materials, windows, skylights, and awnings.

1. Quantity. The total square footage may not exceed the total area of roof surface of the structure to which the system is attached.
2. Flush Mounted System. The bottom of the system should be four inches or less from the roof surface whenever possible.
3. Height
  - a. Systems shall not extend beyond three feet parallel to the roof surface of a pitched roof.
  - b. Systems shall not extend beyond six feet parallel to the roof surface of a flat roof.
  - c. Systems shall not extend more than five feet above the highest peak of a pitched roof.
4. Location on Structure. Allowed on the following:
  - a. Any roof face.
  - b. Side and rear building facades.
  - c. Roof of any parking canopy.



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5. Projection. The system may project off a roof edge or building facade as follows.
  - a. May project laterally from a building facade or roof edge a maximum of seven feet.
  - b. May project into an interior side or interior rear setback, but shall be no closer than five feet to the interior side or interior rear property line.
6. Signs. Signage or writing of any kind is not permitted on any portion of system, other than required manufacturer plates, installer plate, and safety labeling.

**F. Solar - Freestanding.** A solar energy system with a supporting framework that is placed on, or anchored in, the ground and that is independent of any building or other structure.

1. Output. The system shall produce less than one megawatt of electricity.
2. Size. A system in any MX, N, or NX district shall not exceed either the area of 50% of the principal building footprint or 600 square feet, whichever is greater.
3. Maximum Height. The system shall be as close to the ground as practicable, and not taller than 20 feet on lots of at least five acres, 10 feet on lots of at least five acres, all measured from the grade at the base of the pole to the highest edge of the system.
4. Clearance. Minimum clearance between the lowest point of the system and the surface on which the system is mounted is three feet.
5. Location. Allowed in the interior side yard and rear yard only. Other locations may be approved through a Type 1 design alternative.
6. For any property designated as historic or located within a historic district, such system shall be located in the rear yard.
7. Setbacks. All parts of the freestanding system shall be set back a minimum of five feet from the interior side and interior rear property lines and shall not be located in a public utility easement.
8. Materials. Such system shall not include any unfinished lumber.

**G. Wind - Roof-Mounted.** Small wind energy systems that are attached to the roof of a building.

1. Quantity. One turbine is allowed for every 750 square feet of the combined roof area of all structures on a zoning lot. For a pitched roof,

each surface of the roof shall be included in the roof area calculation.

2. Rated Capacity. A maximum rated capacity of three kilowatts per turbine is allowed.
3. Height
  - a. The maximum height of 15 feet is measured from the roof surface on which the system is mounted to the highest edge of the system with the exception of any pitches 10:12 or greater.
  - b. The system shall not extend more than five feet above the highest peak of a pitched roof.
4. Location. Roof-mounted wind energy systems are only permitted on structures that are a minimum of four stories tall or 40 feet.
5. Roof-mounted wind energy systems must be set back from the roof or parapet wall one foot for every foot in height of the device above the roof or parapet wall.
6. Roof-mounted wind energy systems shall only be permitted on roofs with a slope of one inch per foot or less.
7. A roof-mounted wind energy system shall not be visible from the street when installed on any property designated as historic or located within a historic district.
8. Installation. Roof-mounted wind energy systems shall be installed only by professional installers certified to install wind turbines, and only pursuant to manufacturer specifications.

**H. Wind - Freestanding.** Small wind energy systems that stand independent of a building structure.

1. Output. The system shall produce less than one megawatt of electricity.
2. Height. The height of any component of a small wind energy system shall not exceed 200 feet, as measured from the ground to highest point of the blade arc.
3. Permitted Yard Location. Allowed only in the interior side and interior rear yards, unless allowed in front, exterior side, and exterior rear yards in non-residential districts with a Type 1 design alternative provided there are no residential districts within 120 feet of any property line of the zoning lot where the turbine will be located.
4. System shall not be visible from the street when



- Installed on any property designated as historic or located within a historic district.
5. Setbacks. The base of the system shall be setback 1.1 times the height of the highest edge of the system from all property lines, overhead utility line poles, public sidewalks or trails, and public rights-of-way. Any system or any ancillary equipment shall not be located within any required setbacks of the respective zoning district.
  6. Installation. Small wind energy systems shall be installed only with the appropriate permits, and only pursuant to manufacturer specifications.
  7. Signs. Signage or writing of any kind is not permitted on any portion of any wind turbine, other than required manufacturer plates or safety labeling.
  8. Lighting. Small wind energy systems shall provide lighting per Federal Aviation Administration (FAA) regulations. Lighting shall be red and may not be of the incandescent variety, unless FAA regulations otherwise allow or require.
  9. Clearance. Minimum clearance between the lowest tip of the rotor or blade and the ground is 10 feet.
  10. Access. Climbing access, such as rungs or foot pegs, to the tower shall not start until 12 feet above grade to prevent unauthorized access.



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